

**NOTICE OF MEETING
PLANNING COMMISSION
OF THE CITY OF GALVESTON
TUESDAY, APRIL 22, 2025 - 3:30 PM
REGULAR MEETING
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas**

**One or more members of the Planning Commission may attend the meeting by
videoconference.**

**A quorum of the members of the Planning Commission will be physically present
at the meeting location.**

1. Call Meeting to Order

2. Attendance

3. Conflict of Interest

4. Approval of Minutes

4.A April 8, 2025 – Regular Meeting

5. Public Comment

Request to Address Commission on Agenda Items Without Public Hearings and Non-Agenda Items (three-minute maximum per speaker. If speaking through a translator, six-minute maximum per speaker)

6. New Business and Associated Public Hearings

6.A BEACHFRONT CONSTRUCTION/DUNE PROTECTION PERMITS

1. **24BF-033 (4215 Buccaneer Blvd)** Request for Beachfront Construction Certificate and Dune Protection Permit as well as an exemption to construct a single-family dwelling with gravel/limestone slab and driveway. Property is legally described as Abstract 121, Page 45, Lot 11, Block 6, Pirates Beach Section 2, a subdivision in the City and County of Galveston, Texas. Applicant: Mike Murray
Property Owner: Brad and Jenney Burkholder

6.B GALVESTON LANDMARK

2. **25P-012 (1623 Broadway / Avenue J)** Request for designation as a Galveston Landmark. The property is legally described as M.B. Menard Survey, Lot 2 Block 136, in the City and County of Galveston, Texas.
Applicant: Tianna Hall
Property Owner: Donna Alexander

6.C **LICENSE TO USE**

3. **25P-013 (Adjacent to 711 14th Street)** Request for a License to Use in order to retain existing encroachments. The property is legally described as M.B. Menard Survey, South 52 Feet of Lot 7 (7-2), Block 314, in the City and County of Galveston, Texas.
Applicant: Brax Easterwood
Property Owner: Scott Rice, Sandbar Properties LLC.

6.D **PLANNED UNIT DEVELOPMENT**

4. **25P-014 (1802, 1902 and 1920 Harborside)** Request for a Planned Unit Development (PUD) Overlay District for a “Parking Lot, Commercial Surface Parking Area. Property is legally described as M.B. Menard Survey; Lots 8-11, Block 738; Lots 12-14 (12-0), Block 738 and Lots 8-10, Block 739, and Portion of Adjacent 19th Street; and Lots 11-14, Block 739; in the City and County of Galveston, Texas.
Applicant: Shae Jobe
Property Owner: Harbor Properties, Inc.

7. Discussion Items

7.A Discussion of Alley Access Lots (Staff)

7.B Discussion of May 6, 2025, Workshop (Staff)

8. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on 04/16/2025 at 4:00 PM

Karina Rosales, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TEXAS 77550 (409-797-3510).



City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON REGULAR MEETING – April 8, 2025

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present: Stan Humphrey, Mary Jan Lantz, John Lightfoot, Anthony Rios, Rusty Walla, Ex-Officio CM Beau Rawlins

Members Absent: Rejone Edwards, Tom Singleton,

Staff Present: Tim Tietjens, Development Services Executive Director; Catherine Gorman, AICP, Assistant Director/HPO; Daniel Lunsford, Senior Planner; Kyle Clark, Coastal Resources Manager; Hunter Cummings, Deputy Coastal Resources Manager; Peyton Schott, Coastal Resources Intern; Donna Fairweather, Sr. Assistant City Attorney; Karina Rosales, Planning Technician.

CONFLICT OF INTEREST

Commissioner John Lightfoot declared conflict of interest for case 25BF-016.

PUBLIC COMMENT

None

APPROVAL OF MINUTES

The March 4, 2025, regular meeting minutes, and the March 18, 2025, workshop meeting minutes were accepted as presented.

*** Donna Fairweather, Sr. Assistant City Attorney, arrives at 3:32 p.m.

PUBLIC HEARING

25BF-016 (Bermuda Beach Drive) Public Notice for fortification to Bermuda Beach Drive. The City of Galveston seeks to install a bulkhead on the seaward side of the road. The City will also be elevating the road and installing articulated matting for the road.

Applicant: City of Galveston

Property Owner: City of Galveston

***Daniel Lunsford, Senior Planner, arrives at 3:36 p.m.

A public hearing was held.

25P-010 (1916 26th Street) Public Hearing for a minor plat to reconfigure one lot into three. Property is legally described as Abstract 628, M.B. Menard Survey, Lot 14, Northeast Block 91, Galveston Outlots, in the City and County of Galveston, Texas.

Applicant: Rich Spethman

A public hearing was held.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

BEACHFRONT CONSTRUCTION CERTIFICATE AND DUNE PROTECTION PERMIT

25BF-001 (4235 Las Palmas Blvd) Request for Beachfront Construction Certificate and Dune Protection Permit to include proposed construction of a single-family dwelling with fibercrete driveway and slab. An exemption request has been made to build a cantilevered deck over the Dune Conservation Area. Property is legally described as Abstract 121 Page 41, Lot 81, Block 1, Palm Beach, a subdivision in the City and County of Galveston, Texas.

Applicant: John Listowski/Lux Custom Homes

Property Owner: Bendel Rushing

Staff presented the staff report.

Chairperson Walla opened the public hearing on the case. The applicant, John Listowski, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Lightfoot made a motion to approve the request with Staff's Recommendations.

Commissioner Rios seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Lantz, Lightfoot, Rios, Walla
Opposed:	None
Absent:	Edwards, Singleton
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

25BF-009 (22206 Kennedy Drive) Request for Beachfront Construction Certificate and Dune Protection Permit for a relocated staircase. Property is legally described as Abstract 121, Hall & Jones Survey, Lot 217, Sea Isle 10th Extension, a subdivision in the City and County of Galveston, Texas.

Applicant: Son Nguyen

Property Owner: MOD Homes, LLC

Staff presented the staff report.

Chairperson Walla opened the public hearing on the case. The applicant, Son Nguyen, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Rios made a motion to approve the request with Staff's Recommendations.

Commissioner Lightfoot seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Lantz, Lightfoot, Rios, Walla
Opposed:	None
Absent:	Edwards, Singleton
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

GALVESTON LANDMARK

25P-008 (2528 Postoffice / Avenue E) Request for designation as a Galveston Landmark. The property is legally described as M.B. Menard Survey, Lot 14, Block 505, in the City and County of Galveston, Texas.

Applicant: Laura Carrera, 2528 Postoffice, LLC.

Property Owner: 2528 Postoffice, LLC.

Staff presented the staff report and noted that 16 public hearing notices were sent, and none returned.

Chairperson Walla opened the public hearing on the case. The applicant, Laura Carrera, gave a presentation to the commission. Please see the attached list of presentations made to the commission. The public hearing was closed, and the Chairperson called for a motion.

Vice-Chairperson Lantz made a motion to recommend approval of the request with Staff's Recommendations.

Commissioner Humphrey seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Lantz, Lightfoot, Rios, Walla
Opposed:	None
Absent:	Edwards, Singleton
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

25P-009 (2116 Postoffice / Avenue E) Request for designation as a Galveston Landmark. The property is legally described as M.B. Menard Survey, West 28 feet of Lot 11 (11-1), Block 501, in the City and County of Galveston, Texas.

Applicant: Julie K. Baker

Property Owner: Clyde and Kimberley Wood, Two Woods Investments, LLC

Staff presented the staff report and noted that 28 public hearing notices were sent, and one returned in favor.

Chairperson Walla opened the public hearing on the case. The applicant, Julie Baker, gave a presentation to the commission. Please see the attached list of presentations made to the commission. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Humphrey made a motion to recommend approval of the request with Staff's Recommendations.

Vice-Chairperson Lantz seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Lantz, Lightfoot, Rios, Walla
Opposed:	None
Absent:	Edwards, Singleton
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

PLATS

25P-011 (819 Avenue K) Request for a minor plat to subdivide one lot into two lots. Property is legally described as M.B. Menard Survey, Lot 3 Block 68, in the City and County of Galveston, Texas.

Applicant: Brax Easterwood, AIA

Property Owners: Felix Serrata

Staff presented the staff report and noted that 27 public hearing notices were sent, and none returned.

Chairperson Walla opened the public hearing on the case. The applicant, Brax Easterwood, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Chairperson Walla made a motion to approve the request with Staff's Recommendations.

Commissioner Rios seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Rios, Walla
Opposed:	Lantz, Lightfoot
Absent:	Edwards, Singleton
Non-voting participant:	Councilmember Beau Rawlins

The motion failed due to a lack of four affirmative votes.

***Commissioner Rios leaves at 5:00 p.m.

The Commission requested staff add the following discussion items to the upcoming meeting agenda:

- Discussion of Alley Access Lots (Staff)
- Discussion of May 6, 2025, Workshop (Staff)

THE MEETING ADJOURNED AT 5:02 PM



24BF-033

STAFF REPORT

ADDRESS:

4215 BUCCANEER BLVD
GALVESTON, TX 77554

LEGAL DESCRIPTION:

The property is legally described as Abstract 121, Page 45, Lot 11, Block 6, Pirates Beach Section 2, a subdivision in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Mike Murray

PROPERTY OWNER:

Brad and Jenney Burkholder

REQUEST:

Beachfront Construction
Certificate/Dune Protection
Permit and exemption to
construct a single-family
dwelling with
gravel/limestone slab
and driveway.

APPLICABLE LAND USE

REGULATIONS:

Chapter 29, Article 2, Beach
Access Dune Protection and
Beachfront Construction
Regulation.

STAFF RECOMMENDATION:

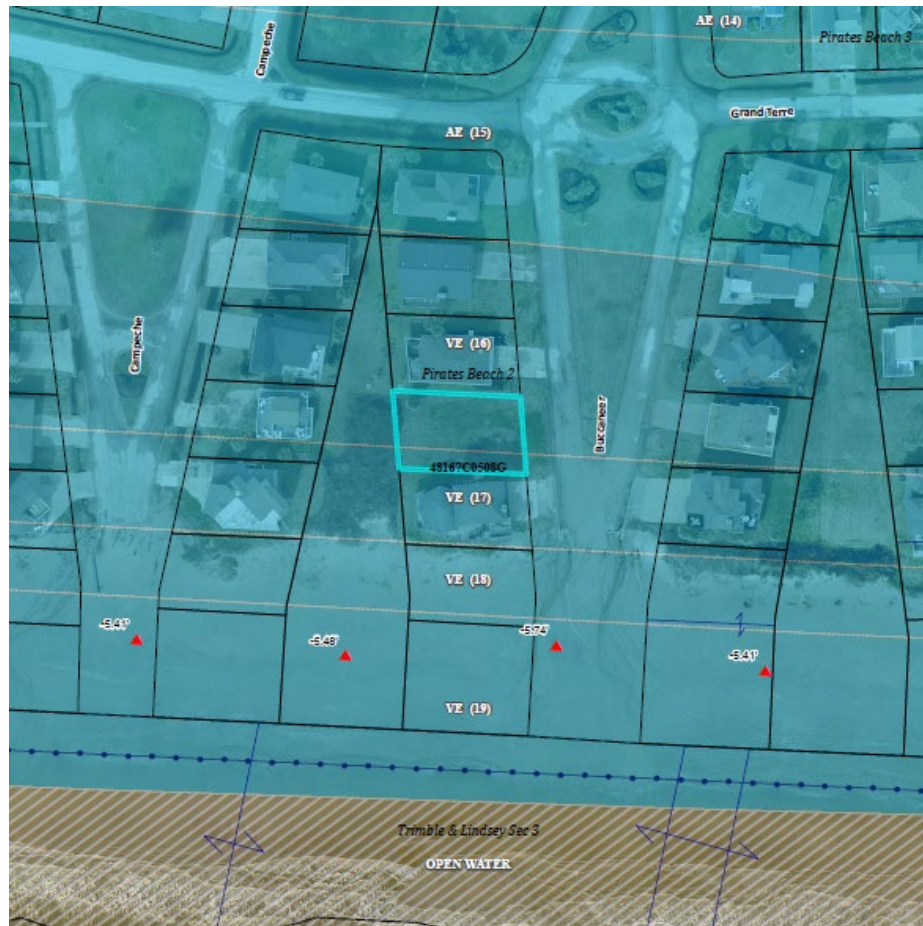
Approval with Conditions

EXHIBITS:

- A – Aerial Map
- B – Topographic Survey
- C – Site Plan & Drawings
- D – Site Photos
- E – GLO Comment Letter

STAFF:

Kyle Clark
Coastal Resources Manager
KClark@GalvestonTX.gov



Note: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

Executive Summary:

The City of Galveston's Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval applications for a Beachfront Construction Certificate/Dune Protection Permit when proposed construction activities occur in areas within or seaward of the Dune Conservation Area or up to 50 feet landward of the Dune Protection Line. The Dune Protection Line is the area within 25 feet landward of the North Toe of the Critical Dune Area or within 200 feet landward of the Line of Vegetation for those beach areas where no dunes exist west of the terminus of the Seawall.

The applicant is requesting an exemption and approval to construct a single-family dwelling with gravel/limestone slab and driveway. Survey data depicts no dunes seaward of the proposed construction. Proposed construction is, 71 feet from the Line of Vegetation. This is within and seaward of the Dune Protection Line and within the Planning Commission review area. According to the application materials, the proposed construction activities appear to be landward of an existing single-family structure with no dunes or dune vegetation. Therefore, mitigation activities are not proposed.

Site and Surrounding Area:

The subject site is located in the Pirates Beach Subdivision. Single-family dwellings are located to the North, East, South and West ; a single-family structure with no dunes is located to the South of the subject property. According to the Bureau of Economic Geology, this area is eroding at a rate of five to six feet per year.

Analysis:

The table below summarizes the applicant survey and site plan (Attachments B and C). The attachments indicate the proposed new construction and the location of proposed construction in relation to on-site conditions:

Proposed Structure's Distance from:	Distance (Feet)
...North Toe of the Dune	NA
...the Line of Vegetation	71

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the Beachfront Construction Certificate and Dune Protection Permit standards.

- ☒ The proposed activity is not a prohibited activity as defined in these standards.
- ☒ The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.
- ☒ There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.
- ☒ The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, which is not required, will adequately minimize, rectify, and/or compensate for any unavoidable adverse effects.
- ☒ The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and
- ☒ The structure is located as far landward as practicable.

Consideration for Exemption:

Staff finds the request for the exemption on the prohibition of construction in the Dune Conservation Area (DCA) meets the criteria provided within the Dune Protection and Beach Access Plan as well as the Erosion Response Plan. The required criteria and considerations are listed below:

- No practicable alternative to construction within or seaward of the Dune Conservation Area. In determining what is practicable, the City shall consider whether an action, technology, or technique is commercially available and capable of being done after taking into consideration existing building practices, effectiveness, scientific feasibility, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot and considering the overall development plan for the property. The City shall also consider the cost of the technology or technique.
 - The residence cannot be moved further North due to building lines and if the structure was moved it would still be within the Dune Conservation Area.
 - The applicant has proposed no ground floor walls on the first floor to be compliant with building within the DCA.

- No other material other than gravel/limestone could be approved for this location.
- The property owner does not own the lots seaward of the proposed structure and does not have the ability to build a dune seaward of the proposed structure.

Staff Recommendation:

Staff recommends approval of 24BF-033 with the following conditions:

Conditions for Case 24BF-033:

1. As provided in the Erosion Responses Plan, an exemption is granted to allow for construction within the Dune Conservation Area.
2. The applicant must adhere to all aspects of Chapter 29: Planning-Beach Access Dune Protection & Beachfront Construction of the City of Galveston Code of Ordinances.
3. The applicant must adhere to all aspects of the Texas Administrative Code Title 31. Natural Resources and Conservation, Part 1. General Land Office, Chapter §15. Coastal Area Planning, including but not limited to those outlined in the GLO Comment Letter associated with this Beachfront Construction Certificate and Dune Protection Permit.
4. The construction activities must minimize impacts on natural hydrology and must not cause erosion of adjacent properties. The applicant shall direct all stormwater inland away from the critical dune area, public beach, and adjacent properties.
5. Where applicable, the proposed construction must be consistent with FEMA minimum requirements or with the FEMA approved local ordinance.

ERP PRACTICABLE DEFINITION

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering the overall development plan for the property.

TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)

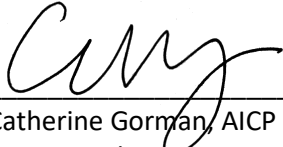
In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,



Kyle Clark
Coastal Resources Manager

4/15/2025



Catherine Gorman, AICP
Assistant Planning Director / HPO

04/15/2025
Date

A – Aerial Map

**Address 4215 Buccaneer Blvd
Case #24BF-033**

**BEG and FIRM Coastal Map
Legend**

**BEG Shoreline Change Rates
1950s-2019 - End Point Rate (ft/yr)**

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)
- FIRM Panels
- 0.2% Annual Chance
- Zone A
- Zone AE, Zone AO
- Zone VE
- Zone X
- Open Water
- Subdivisions
- 1000ft from MHT
- Lot Lines
- Parcels



0 10 20 30 40 50 60 70 80 90 Feet



1:1,084

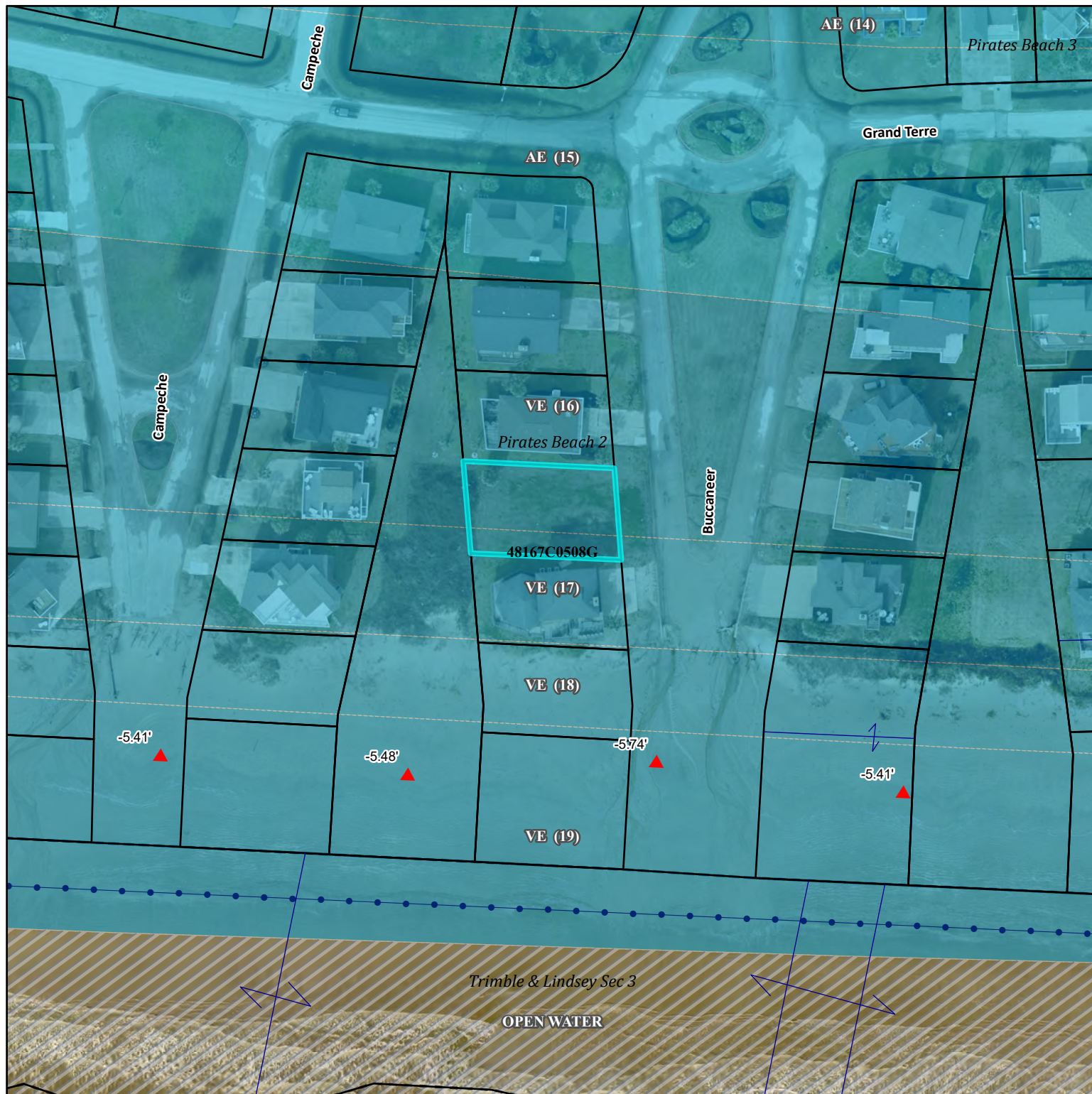
Data Sources:

Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology, Flood Insurance Rate Map from FEMA.

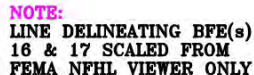
**Map prepared by the City of Galveston Development
Services Department, Coastal Resources Division
(hcummings) - 2/28/2025**

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B – Topographic Surveys



NOTES:
NO RECORDS SEARCH CONTRACTED. RECORD
EASEMENTS, RESTRICTIONS, ROADWAYS,
RIGHTS-OF-WAY, BUILDING LINES,
ENCUMBRANCES, ETC. BY COMMON KNOWLEDGE
ONLY.
CLIENT HOLDS TLTS, INC. HARMLESS FROM
RESPONSIBILITY FOR SAME

- Restrictions as per recorded plat unless otherwise noted
- True ground distances shown
- Bearings assumed as platted
- Vol 1810, Pg 179, OCCGC
- :5' side overhang restriction
- :8' building line
- Pirates POA approved 5' side building lines supercede 8'

- NATIONAL FLOOD INSURANCE PROGRAM
- :FIRM Zone VE
- :Community #485469
- :Map 48167C0508G
- :August 15, 2019
- Survey monuments reconciled w/numerous previous surveys
- BL: building line
- UE: utility easement
- AE: aerial easement

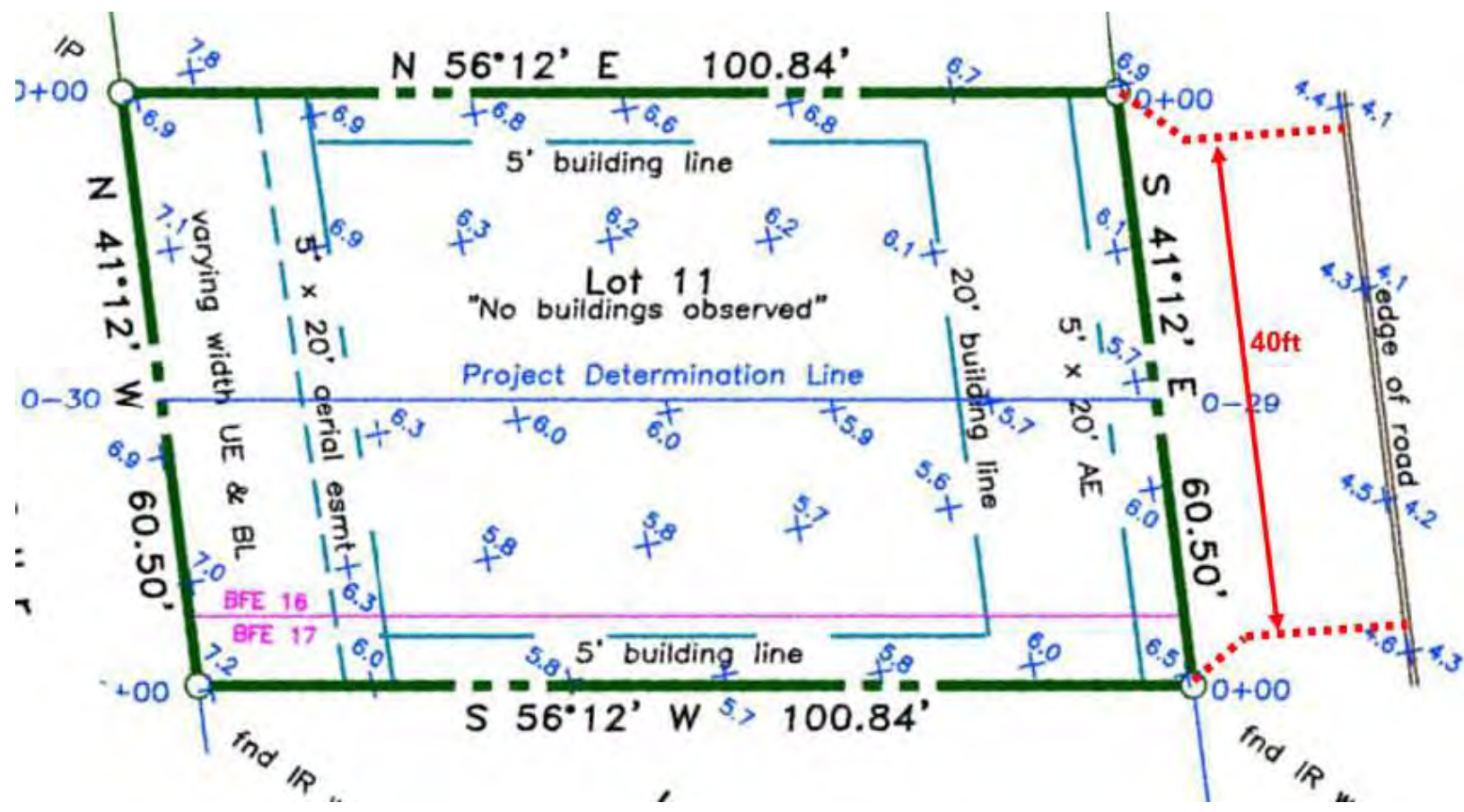
This survey is certified for this transaction only and may only be relied on by Brad Burkholder. This survey is only valid if print has original seal and signature of surveyor. I hereby certify that this survey was made on the ground under my direct supervision and that this plat correctly represents the facts found at the time of the survey.



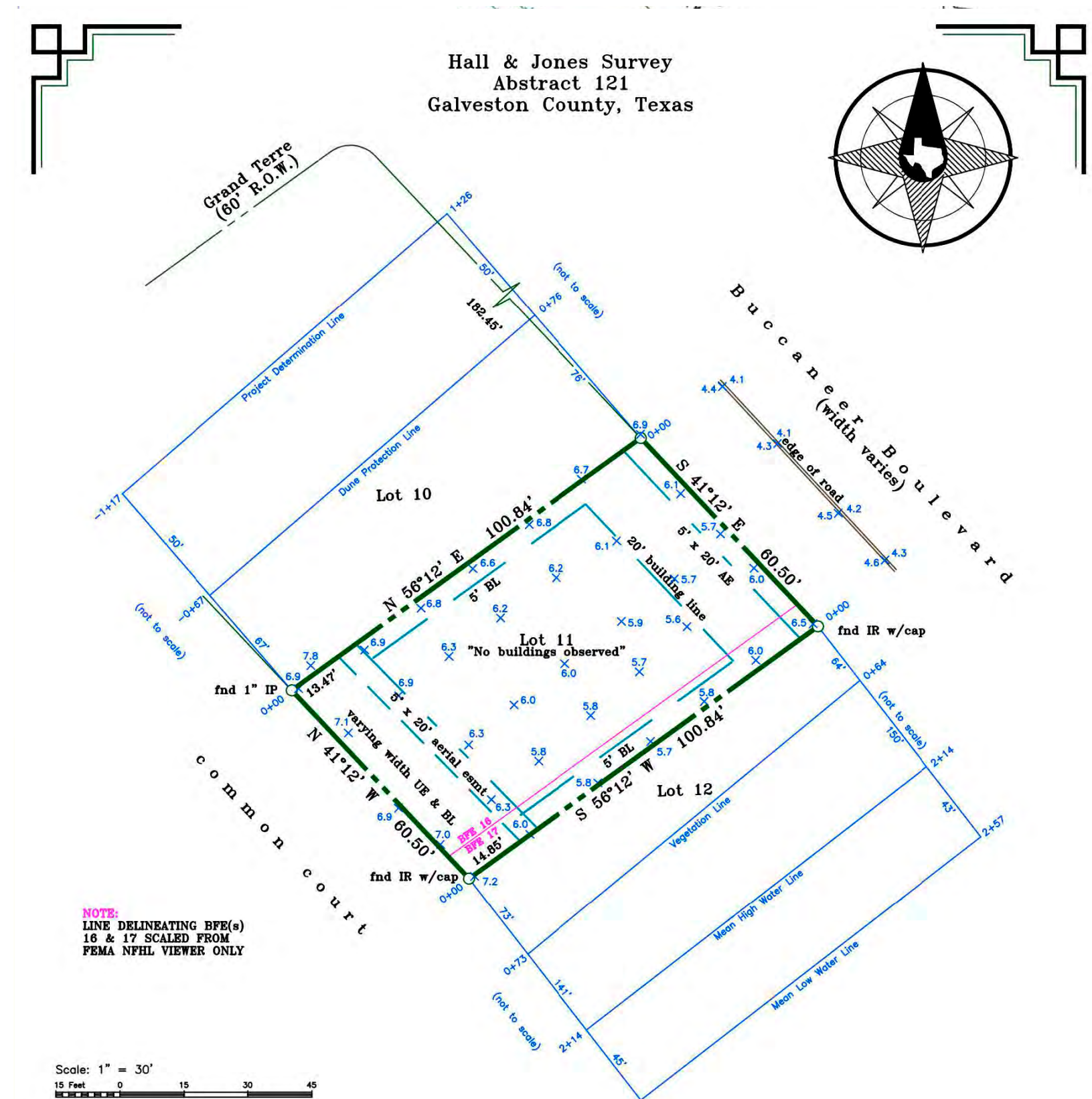
TLTS

1801 Moody Avenue
Galveston, Texas 77550
(409) 765-8883
tltsinc@gmail.com
PELS Firm #10104200

C – Site Plans and Drawings



CITY OF GALVESTON RIGHT OF WAY REQUIREMENT 40FT MAXIMUM WIDTH



TOPOGRAPHIC SURVEY OF A TRACT OF LAND being Lot 11, in Block 6, of PIRATES BEACH, SECTION 2, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 1616, Page 67 and transferred to Plat Record 8, Map No. 1, both in the Map Records of Galveston County, Texas.

- NOTES:
- Restrictions as per recorded plat unless otherwise noted
 - True ground distances shown
 - Bearings assumed as plotted August 15, 2019
 - Survey monuments reconnected w/ numerous previous surveys
 - BE: building line
 - UE: utility easement
 - AE: aerial easement
 - NATIONAL FLOOD INSURANCE PROGRAM (FIRM) Zone VE
 - Community #485469
 - Map 4816700086
 - August 15, 2019
 - Survey monuments reconnected w/ numerous previous surveys
 - BE: building line
 - UE: utility easement
 - AE: aerial easement

Vacant property: 4215 Buccaneer Boulevard Galveston County, Texas

This survey is certified for this transaction only and may only be relied on by Brad Burkholder. This survey is only valid if print has original seal and signature of surveyor. I hereby certify that this survey was made on the ground under my direct supervision and that this plat correctly represents the facts found at the time of the survey.



Laurence C. Wall
RPLS #4814
January 16, 2025

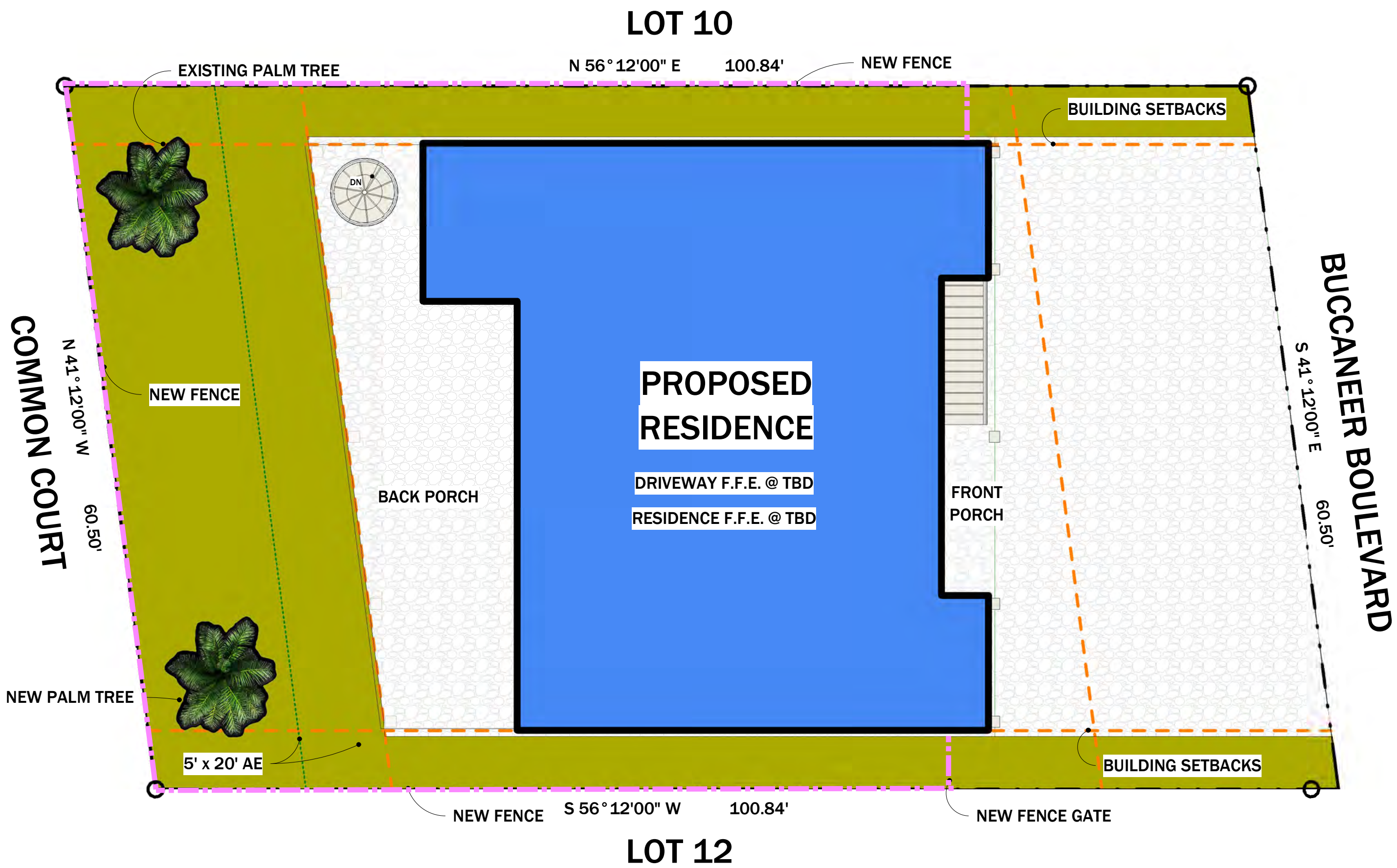
TEXAS LAND TITLE SURVEYORS
1801 Moody Avenue
Galveston, Texas 77550
(409) 765-8883
tltsinc@gmail.com
PELS Firm #10104200

1 EXISTING SURVEY
A101 1" = 30'-0"



FENCE NOTE:
No concrete will be used for footers.

2 PERIMETER FENCE STYLE
A101 1" = 1'-0"



GULF OF MEXICO

3 SITE PLAN
A101 1/8" = 1'-0"

SITE PLAN LEGEND

- INDICATES BUILDING AREAS & OR STRUCTURES IN PROJECT SCOPE
- INDICATES CANALS, POOLS OR ANY OTHER WATER FEATURE
- INDICATES GRAVEL/LESTONE PLACEMENT AREAS, SEE PLAN FOR FINISH
- INDICATES LAWN, YARD & GRASSY AREAS
- INDICATES LANDSCAPE AREAS & TREES
- BUILDING LINE / SETBACK
- CHAIN LINK FENCE & GATE
- EASEMENT
- FIRE LANE
- PROPERTY LINE
- SITE DRAINAGE / SLOPE ARROW

LEGAL DESCRIPTION:

LOT 7, IN BLOCK 6, OF PIRATES BEACH, SECTION 2, A SUBDIVISION IN GALVESTON COUNTY, TEXAS
PLAT RECORD VOLUME 1616, PAGE 67
TRANSFERRED TO PLAT RECORD 8, MAP NO. 1, BOTH IN MAP RECORDS OF GALVESTON COUNTY, TEXAS
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554
LAND SURVEYING INFO
FLOOD ZONE: ??
BASE FLOOD ELEVATION: ??
GROUND ELEV. OF LOT: APPROX. ??

GENERAL SITE NOTES:

- 1.) ALL DRAWINGS HERE REFERENCE THE LOCAL IRC & IRC BUILDING CODES W/ APPLICABLE CITY AMENDMENTS.
- 2.) LOWEST STRUCTURAL FLOOR FRAMING MEMBER SHALL BE A MIN. OF 24" ABOVE BASE FLOOD ELEVATION, UNLESS OTHERWISE GOVERNED BY LOCAL & OR STATE CODES. GENERAL CONTRACTOR TO REFER TO STRUCTURAL DRAWINGS AND ELEVATION CERTIFICATE TO DETERMINE FINAL SLAB & LOWEST STRUCTURAL MEMBER ELEVATIONS. INSTALL PER LOCAL AUTHORITY.
- 3.) GENERAL CONTRACTOR SHALL APPROVE LOCATION OF PROPOSED CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 4.) GENERAL CONTRACTOR TO VERIFY UTILITY LOCATIONS, EASEMENTS, BUILDING SETBACKS LINES, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 5.) PLUMBER TO CONNECT TO EXISTING SANITARY SEWER, SCHEDULE 40 PVC INSIDE PROPERTY, CONCRETE BY LOCAL AUTHORITY.
- 6.) PLUMBER TO DETERMINE THE LOCATION OF WATER METER AND CONTACT LOCAL UTILITIES TO CONFIRM PLACEMENT AS REQUIRED BY THE LOCAL JURISDICTION.
- 7.) ELECTRICIAN TO RUN THREE (3) UNDER GROUND CONDUITS FROM MAIN SOURCE TO GARAGE FOR THE FOLLOWING:
(A) ELECTRICAL SERVICE CONDUIT
(B) COMMUNICATIONS SERVICE CONDUIT
(C) ENTERTAINMENT SERVICE CONDUIT
- 8.) ALL DRAINAGE RUNOFF SHALL BE COLLECTED ON SITE AND OR DIRECTED TO DEVELOPED STORM DETENTION SYSTEM. NO RUNOFF IS ALLOWED ON ADJACENT PROPERTIES.
- 9.) INSTALL LANDSCAPING PER CITY OR HOA REQUIREMENTS.
- 10.) SIMILAR LINES (ELECTRICAL, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE MAY BE PROVIDED IN THE SAME DITCH PROVIDED ALL LINES ARE SEPARATED THE ENTIRE RUN OR MAINTAIN A MINIMUM 36" SPACING BETWEEN ALL LINES.
- 11.) PROVIDE MINIMUM 12" CLEARANCE AROUND A/C UNITS & PADS TO ANY VERTICAL SURFACE. PROVIDE A MINIMUM 18" BETWEEN EACH A/C UNIT & PAD. PROVIDE A 30' MIN. SERVICE AREA.
- 12.) ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY TO BE MIN. 6" WOOD AND OR VINYL FENCE. GENERAL CONTRACTOR TO COORDINATE EXACT FENCING REQUIREMENTS WITH LOCAL JURISDICTION.
- 13.) ALL EXTERIOR PAINTED SURFACES TO USE SHERWIN WILLIAMS EMERALD
- 14.) ALL EXTERIOR FASTENERS (NAILS, SCREWS, BOLTS, ETC.) TO BE STAINLESS STEEL.
- 15.) ALL EXTERIOR STAINED SURFACES TO USE SEAL-ONCE® MARINE PREMIUM WATERPROOFING WOOD SEALER & STAIN.
- 16.) ALL HORIZONTAL DECKING/STAIRS TO BE TREX TYPE (OR SIMILAR) COMPOSITE DECKING. COLOR TO BE SELECTED BY OWNER.
- 17.) ALL EXTERIOR SIDING SHALL BE JAMES HARDIE FIBER CEMENT 1/4" SIDING.
- 18.) ALL GROUND FLOOR CEMENT SHALL BE FIBER CRETE AS PER CODE.
- 19.) BACK PORCH STAIRS SHALL BE ALUMINUM OR STEEL, POWDER COAT FINISH (COLOR SELECTED BY OWNER).
- 20.) ALL EXTERIOR PLUMBING FIXTURES SHALL BE STAINLESS STEEL.
- 21.) PLUMBING SYSTEM SHALL INCLUDE RECIRCULATING PUMP FOR WATER HEATER, TWO SHUTOFFS AND PROTECTED WITH EXPANSION TANK. RECIRCULATION LINE SIZE WILL BE NO SMALLER THAN 1".
- 22.) PLUMBING SYSTEM PEX SHALL BE UPONOR SYSTEM. CRAMP FITTINGS PROHIBITED.
- 23.) EXTERIOR HOSE BIBBS SHALL BE 3/4" TURN TYPE.
- 24.) ALL PLUMBING AND HVAC ROOF PENETRATIONS TO BE ON BACK SIDE OF ROOF, NOT SEEN FROM FRONT OF HOUSE.

NOTE: PLUMBING SANITARY CLEAROUT IS IN THE REAR OF PROPERTY

WINDOW SPECIFICATIONS: A. A MINIMUM OF 1 WINDOW OR DOOR IN SLEEPING ROOMS WILL HAVE A MINIMUM OF 5.7 SQUARE FEET OF CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE.

PROJECT IMPACT AREA
PROJECT IMPACT AREA = 6,050 - 2,000 = 4,050 SQFT
PERVIOUS AREA = 100% (NATURAL GRASS AND GRAVEL)



DASTKAAR

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ARCHITECTURAL SITE PLAN
BURKHOLDER BEACH HOME RESIDENCE
BRAD & JENNY BURKHOLDER
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554

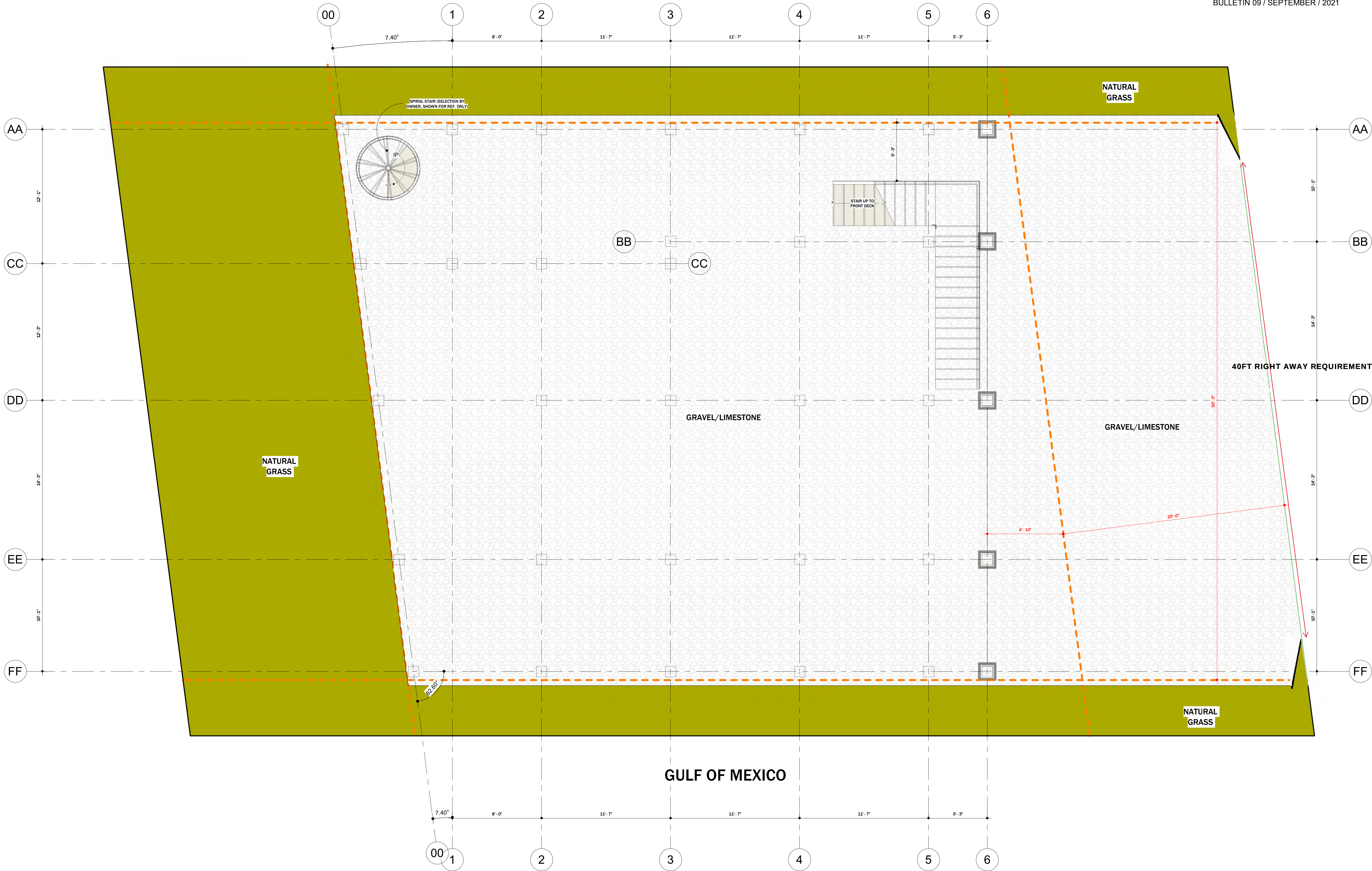
PROJECT NO:
22310

DRAWN BY:
HR

REV	DATE
0	12/01/2022
1	02/24/2023
2	03/24/2023
3	05/01/2023
4	03/23/2024
5	01/29/2025

DRAWING NO:

A101



SHEET NOTE: TOTAL ENCLOSED SQUARE FOOTAGE
NEEDS TO BE LESS THAN 299 SQFT.
ALL WALLS ON GROUND FLOOR TO BE
BREAKAWAY STYLE WALLS
CONFORMING TO NFIP TECHNICAL
BULLETIN 09 / SEPTEMBER / 2021



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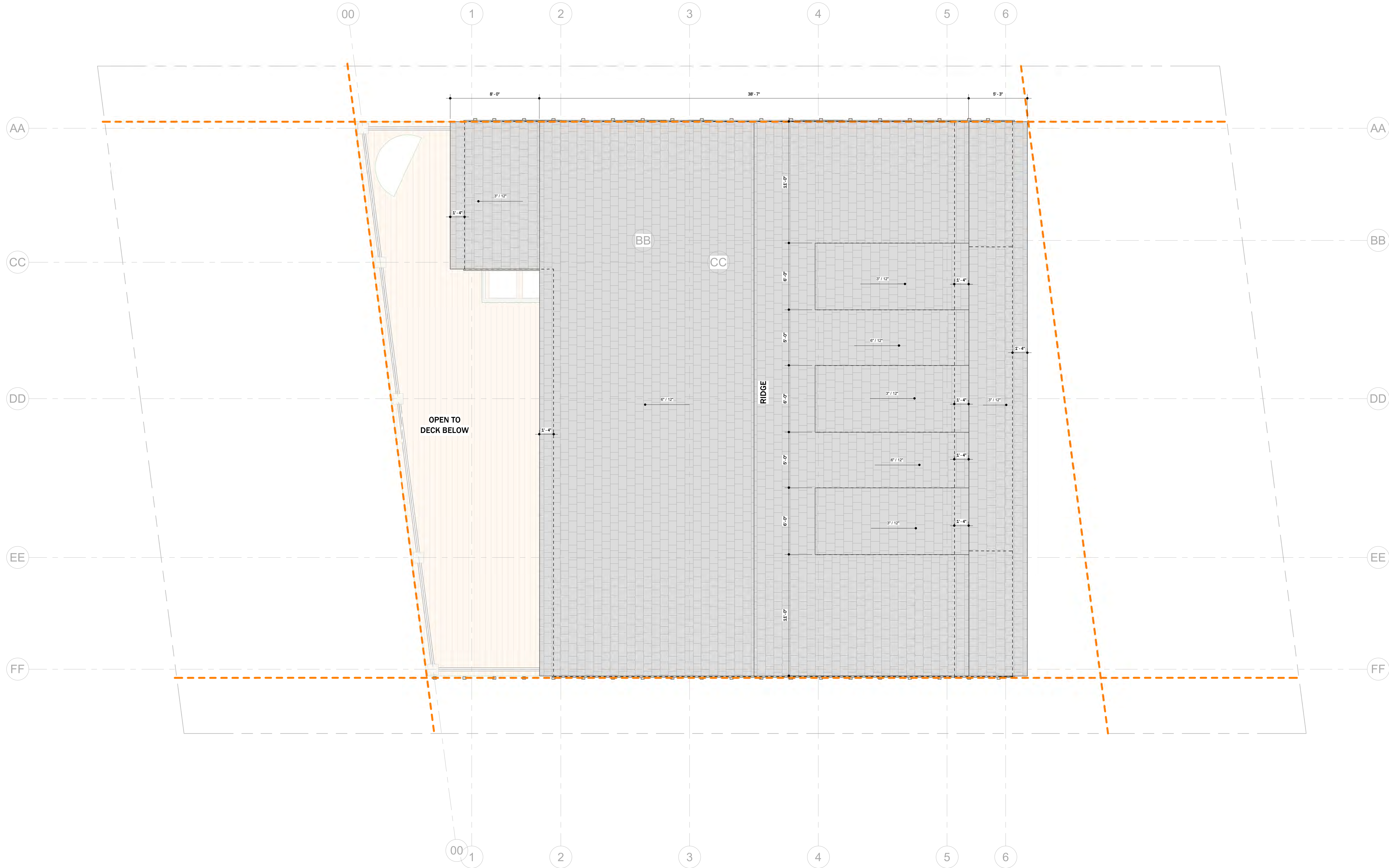
GROUND FLOOR PLAN
BURKHOLDER BEACH HOME RESIDENCE
BRAD & JENNY BURKHOLDER
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554

PROJECT NO:
22310
DRAWN BY:
HR

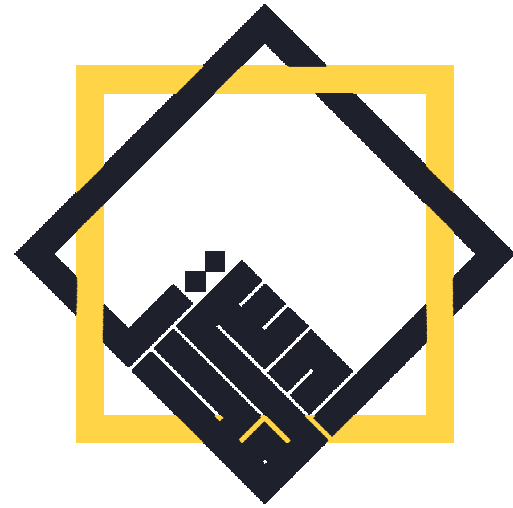
REV	DATE
0	12/01/2022
1	02/24/2023
2	03/24/2023
3	05/01/2023
4	03/23/2024
5	01/29/2025

DRAWING NO:
A102

1
A102
GROUND FLOOR
1/4" = 1'-0"



1 ROOF
A105 1/4" = 1'-0"



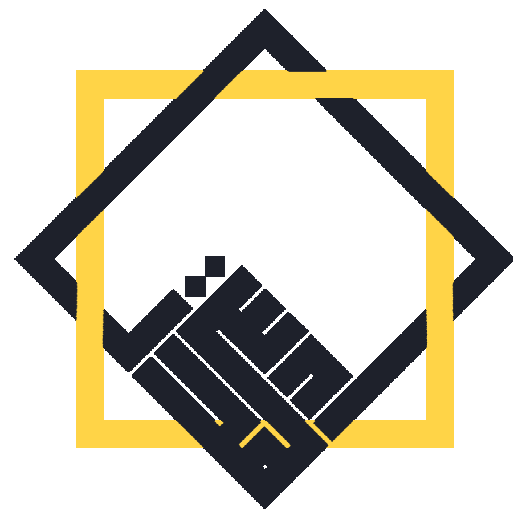
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TITLEBLOCK: THIS DRAWING IS AN INSTRUMENT OF SERVICE ONLY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST.

ROOF PLAN
BURKHOLDER BEACH HOME RESIDENCE
BRAD & JENNY BURKHOLDER
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554

PROJECT NO:
22310
DRAWN BY:
HR

REV	DATE
0	12/01/2022
1	02/24/2023
2	03/24/2023
3	05/01/2023
4	03/23/2024
5	01/29/2025

DRAWING NO:
A105



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FRONT / REAR ELEVATION
BURKHOLDER BEACH HOME RESIDENCE

BRAD & JENNY BURKHOLDER
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554

PROJECT NO:
22310

DRAWN BY:
HR

REV	DATE
0	12/01/2022
1	02/24/2023
2	03/24/2023
3	05/01/2023
4	03/23/2024
5	01/29/2025

DRAWING NO:

A201



1 FRONT ELEVATION
1/4" = 1'-0"

2 REAR ELEVATION
1/4" = 1'-0"



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LEFT / RIGHT ELEVATION
BURKHOLDER BEACH HOME RESIDENCE

BRAD & JENNY BURKHOLDER
4215 BUCCANEER BLVD
GALVESTON, TEXAS 77554

PROJECT NO:
22310

DRAWN BY:
HR

REV	DATE
0	12/01/2022
1	02/24/2023
2	03/24/2023
3	05/01/2023
4	03/23/2024
5	01/29/2025

DRAWING NO:

A202

1 LEFT (south) ELEVATION
1/4" = 1'-0"

2 RIGHT (north) ELEVATION
1/4" = 1'-0"

D – Site Photos

Looking West



Looking South



Looking East



Looking North



Line of Vegetation Looking North



E – GLO Comment Letter



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

March 10, 2025

Via Electronic Mail

Kyle Clark
Coastal Resources Manager
Development Services Department
City of Galveston
3015 Market St.
Galveston, Texas 77550

Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston

Site Address: 4215 Buccaneer Blvd, Galveston
Legal Description: ABST 121 Page 45 Lot 11 Blk 6 Pirates Beach Sec 2
Lot Applicant: Mike Murray c/o Brad and Jenny Burkholder
Case Number: 24BF-033
GLO ID No.: BDCOG-24-0117a

Dear Mr. Clark:

The General Land Office (GLO) has reviewed the amended application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant originally proposed to construct a single-family residence with fibercrete paving beneath the structure, a fibercrete and permeable paver driveway, and an in-ground swimming pool. The applicant now proposes to construct a single-family residence with gravel or crushed limestone beneath the structure and for a driveway. The proposed construction is located within 200 feet landward of the line of vegetation and seaward of the Dune Protection Line. According to the Bureau of Economic Geology, the area is eroding at a rate of five to six feet per year.

Based on the information provided to our office for review, we have the following comments:

- Construction activities are prohibited within the Dune Conservation Area under the City of Galveston's Dune Protection and Beach Access Plan (Plan).¹ Section 4.2 of the City's Erosion Response Plan (ERP) and Section B of the City's Plan are based on the requirements for the development of erosion response plans, building setback lines, and considerations for exemptions to the prohibition of construction found in 31 Tex. Admin. Code § 15.17.² Those requirements only allow the City to issue an exemption to the general prohibition on construction seaward of the setback line (or within the Dune Conservation Area) and does not provide the

¹ City of Galveston Dune Protection and Beach Access Plan Appendix C § 4.1.

² City of Galveston Dune Protection and Beach Access Plan Appendix C § 4.2 and City of Galveston Dune Protection and Beach Access Plan § B; *see also*, Tex. Nat. Res. Code § 33.607 (relating to the elements required in an erosion response plan).

City authority to issue exemptions from other specific construction limitations listed in the City's Plan or 31 Tex. Admin. Code § 15.

- According to 31 Tex. Admin. Code § 15.6(f)(5), gravel or crushed limestone may be used to construct driveways and parking areas in the area 50 feet landward of the line of vegetation to the dune protection line.³ The applicant proposes gravel or crushed limestone beneath the habitable structure and back porch in areas that do not appear to be part of the driveway or parking area.
- Section M(1)(i)(2) of the City's Plan prohibits paving or altering the ground below the lowest habitable floor within the Dune Conservation Area.⁴ The applicant appears to propose to alter the ground within the Dune Conservation Area, which does not comply with this requirement.
- The driveway must be limited to the linear width of the primary structure, along the main street, and a minimum of 15% of the front yard must be maintained as open/unimproved area.⁵
- Construction must provide for the gradual and dispersed drainage of storm water runoff, such that runoff within the lot approximates natural rates, volumes, and direction of flow to avoid erosion and dune damage.⁶
- Section 5.3 of the City's ERP states that a dune enhancement or restoration project consistent with the definition for restored (man-made) dunes provided in the City Plan shall be completed prior to the commencement of proposed construction. In cases where completion of an enhancement or restoration project is deemed infeasible due to site constraints as determined by the Department of Planning and Community Development, payment of a fee-in-lieu of satisfying the requirement shall be made to the City.⁷

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.⁸ If you have any questions, please contact me at (512) 463-1278 or at michelle.leslie@glo.texas.gov.

Sincerely,



Michelle Leslie
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

³ 31 Tex. Admin. Code § 15.6(f)(5).

⁴ City of Galveston Dune Protection and Beach Access Plan § M(1)(i)(2).

⁵ City of Galveston Dune Protection and Beach Access Plan Appendix C § 5.4(4) & City of Galveston Dune Protection and Beach Access Plan § P(2).

⁶ City of Galveston Dune Protection and Beach Access Plan § E(3) & City of Galveston Dune Protection and Beach Access Plan Appendix C § 5.3(3).

⁷ City of Galveston Dune Protection and Beach Access Plan Appendix C § 5.3(6).

⁸ 31 Tex. Admin. Code § 15.3(t)(5).



25P-012

STAFF REPORT

ADDRESS:

1623 Broadway / Avenue J

LEGAL DESCRIPTION:

The property is legally described as M.B. Menard Survey, Lot 2 Block 136, in the City and County of Galveston, Texas.

Applicant:

Tianna Hall

Property Owners:

Donna Alexander

ZONING DISTRICT:

Residential, Single-Family (R-3)

HISTORIC DISTRICT:

East End

REQUEST:

Request for designation as a Galveston Landmark

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

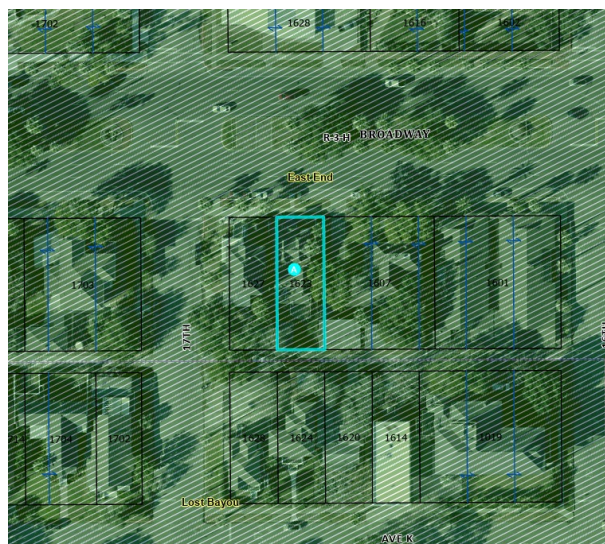
A – Applicant's Submittal

STAFF:

Daniel Lunsford
 Senior Planner
 409-797-3659
dlunsford@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
15				



Executive Summary

The applicant is requesting designation of the above referenced address, as a Galveston Landmark (the Rebekah Behrman Tenant Cottage).

Zoning

Location	Zoning	Land Use
Subject Site	Residential, Single-Family R-3)	Single Family Residential
North	Residential, Single-Family R-3)	Church
South	Residential, Single-Family R-3)	Single Family Residential
East	Residential, Single-Family R-3)	Single Family Residential
West	Residential, Single-Family R-3)	Single Family Residential

Analysis

As per Article 10 of the Land Development Regulations, the following criteria should be considered during the Landmark Designation review process:

1. The character, interest, or value as part of the development, heritage, or cultural characteristics of the City of Galveston, Galveston County, the State of Texas, or the United States.

One of the very few smaller, more modest houses along Broadway, this cottage was built by widow Rebekah Olmstead Behrman in 1868.

2. Properties that are associated importantly with the lives of persons historically significant in the history of the United States, the State of Texas, or the City of Galveston.

Rebekah Olmstead Behrman was born in Oldenburg, Germany in 1797; by 1824 she married George August Ludwig Behrman in his hometown of Hanover. Together the two had four daughters and three sons.

The Behrman family moved to Galveston in 1843, where George was one of the city's earliest pharmacists. By 1850 Rebekah was a widow supporting five of her children. They relocated to Houston where George Jr. worked as a merchant clerk. All three sons enlisted with the Confederacy during the Civil War but none of them survived beyond 1866. By January 1867 Behrman returned to Galveston and purchased two lots on Broadway. 1627 Broadway (since demolished) served as the family's primary residence, with the cottage next door utilized as a rental property. After her death, her daughters Sara, Elise, and Theresa continued to live at 1627 Broadway and used the cottage as tenant rental.

In 1912 Sara Behrman sold the properties to C. Harper Anderson, who demolished the older house at 1627 Broadway and built his personal residence which still stands today. Anderson sold the next-door cottage to widowed attorney Robert G. Street of Alabama, who also presided over the 56th District Court of Galveston County as judge.

3. **Retention of historic integrity, meaning that the property possesses several, and usually most, of the following aspects of integrity: location, design, setting, materials, workmanship, feeling or association.**

This Gulf Coast style cottage (also called Creole cottages) retains much of its historic integrity and serves as a good example of that vernacular style. The house features three bays across the porch with a side-gable roof and inset gable facing forward. Typically this style includes a central entrance and hallway with rooms arrayed on either side. In 1913 Judge Street remodeled the house, including adding the roof dormers and an additional bedroom and bathroom upstairs.

Financial Incentives for Historic Properties

The property is located in a historic district and is ineligible for the Financial Incentive for Historic Properties for new Galveston Landmarks.

Other Reviews

The Landmark Commission will hear this request at the April 21, 2025 meeting. City Council has the final decision regarding the request for a Landmark Designation. The request will be heard at the regular meeting of May 22, 2025.

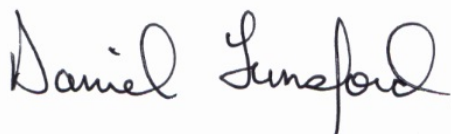
Staff Recommendation

Staff recommends approval with the following condition:

Standard Condition:

1. As with all properties containing a Historic Overlay Designation, including Landmark Designations, exterior alterations to the property will be subject to review and approval by the Landmark Commission and must conform to the Design Standards for Historic Properties of Galveston, Texas.

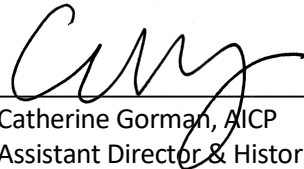
Respectfully Submitted:



Daniel Lunsford
Senior Planner

April 4, 2025

Date



Catherine Gorman, AICP
Assistant Director & Historic Preservation Manager

April 4, 2025

Date

Rebecka Behrman Tenant Cottage

1623 Broadway

Lot 2, Block 136

Built 1868, Remodeled 1913, 1956

Information compiled and written by:

Jami Durham, Historian- Buildings & Cultural History, Galveston Historical Foundation

July 2024



German widow Rebecka Olmstead Behrman (1797-1886) built this Gulf Coast cottage for use as rental property in 1868. Behrman was born in Oldenburg, Germany, where she married George August Ludwig Behrman in his hometown of Hannover in 1824. Between 1826-1837 the couple had seven children, including daughters Augusta (1826-1902, *Mrs. John Hermann Carstens*), Theresa (1830-1912, *Mrs. Heinrig Aschoff*), Elise (1836-1912) and Sara (1837-1920) and sons George (1828-1862), Henry (1829-1863) and Friedrich (1832-1866).

In 1843, the Behrman family immigrated to Galveston, where George was one of the island's earliest pharmacists. By 1850, Rebecka was a widow supporting five children still living at home.

They relocated to Houston, where George Jr. worked as a merchant clerk to support the family. Rebecka, Sara and Elise presumably remained in Houston during the Civil War while her sons all eventually enlisted in the Confederate Army and by 1866, were all dead.

By January 1867, Rebecka had returned to Galveston and purchased two lots on Broadway, on the southeast corner of 17th Street, where she built two houses. Situated directly on the corner, 1627 Broadway (demolished 1913) served as the family's primary residence, which she shared for the remainder of her life with daughters Elise and Sara. In 1868, Rebecka contracted to build 1623 Broadway on lot two, which she utilized as rental property. In 1870, she gifted lot two and the tenant cottage to her youngest daughter, Sara.

The 1868 Behrman tenant cottage is an example of a Gulf Coast cottage, one of Galveston's most common forms. Sometimes called Creole cottages, the one-and-one-half story, three-bay frame cottage features a side-gable roof with dormered windows, allowing for living space in the half-story. A small covered inset porch framed the center-hall entrance, typically flanked by two rooms. The 1904 insurance record for the house indicates it was originally one-story but was remodeled in May 1913 with the addition of four dormered windows that allowed the attic space to support one bedroom and one bathroom.

After Rebecka's death in 1886, Sara was still a feme sole, living at home with her sister Elise, who also never married, as well as their older sister, Theresa, who had returned home with her son, Ernst, after the death of her husband, Heinrig. The three sisters maintained the Behrman family residence at 1627 Broadway while Sara continued to utilize the cottage at 1623 Broadway as rent property that generated income for their household. After the deaths of both Elise and Theresa in 1912, Sara sold both family lots and moved to Houston, where she died in 1920. Banker C. Harper Anderson purchased the two lots from Sara in January 1913. He demolished the old family home at 1627 and built the current building in 1914 for use as his residence.

In March 1913, widowed attorney Robert G. Street purchased 1623 Broadway. Street was an Alabama native, lawyer and judge presiding over the 56th District Court of Galveston County. He was noted as the tenant in the house on the 1910 U.S. Census, living there with his mother and companion Wilhelmina Koehler. After he acquired the property, Judge Street was responsible for the 1913 remodel of the building, which he utilized as his personal residence until he died in 1924. As his children all preceded him in death, his niece Lelia Street Trueheart inherited the property. Prior to his death, Lelia had resided at the house with her uncle. After she inherited the cottage, she reverted use to rent property and maintained ownership until 1941.

Between 1941 and 2024, the Behrman cottage changed ownership multiple times with use divided between owner-occupied and rent property. The building's insurance record notes additional

unspecified improvements to the property in 1956. The historic cottage is located within the southern boundary of the East End Historic District, added to the National Register of Historic Places in 1976.

Chain of Title

Mrs. Rebecka Behrman, January 1867.

Miss Sara Behrman, April 1870

Mrs. Theresa Aschoff, sister of Sara, is noted as owner on the building's 1904 insurance record. She never owned the property and acted solely as an agent for her sister, Sara.

C. Harper Anderson, January 1913. Purchased both lots 1 and 2.

John C. League, February 1913.

Purchased both lots from Anderson. Anderson later regained ownership of lot 1, where he built 1627 Broadway in 1914 for use as his residence. The Anderson family maintained ownership of lot 1 until 1948.

Robert G. Street, March 1913. Purchased lot 2 and 1623 Broadway.

Lelia Trueheart, October 1924.

John and Katie Kralj, April 1941

William A. Hern and wife, March 1945

James E. Davis, October 1948

Kipling Village Condominium Inc., June 1980

Leroy and Bonnie Gathman, October 1982

Mindy L. Manley, November 1997

William and Janet Bliss, August 2000

Robert and Karen Eager, May 2003

Karolyn Kaye Forester, October 2007

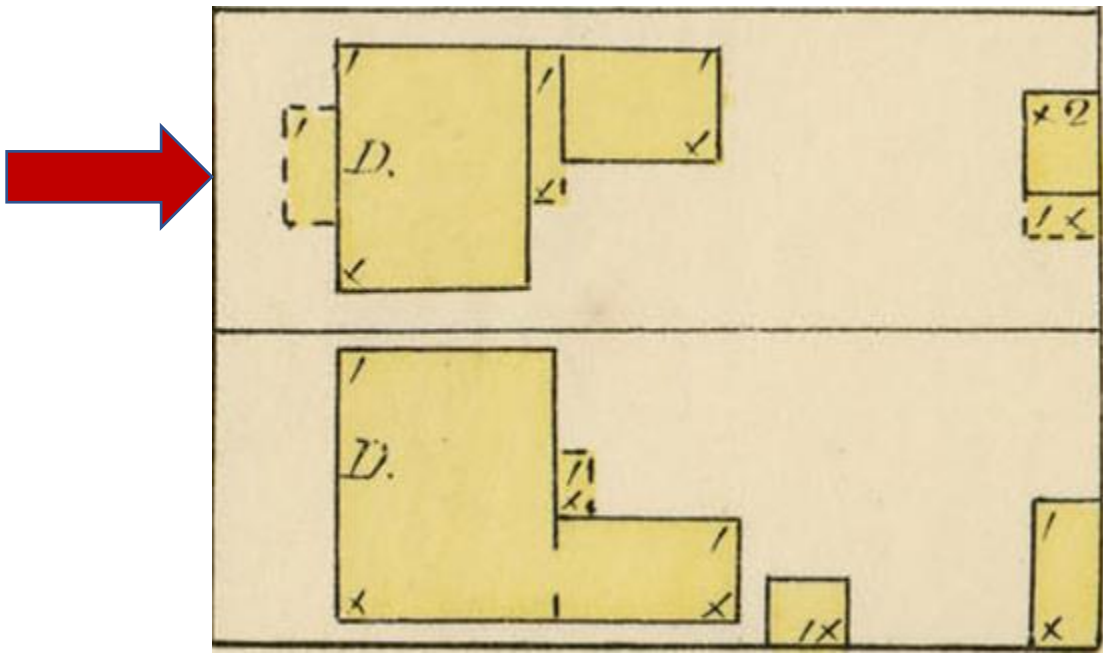
Federal Home Loan Mortgage Co., September 2010

Kristen Carlson, July 2013

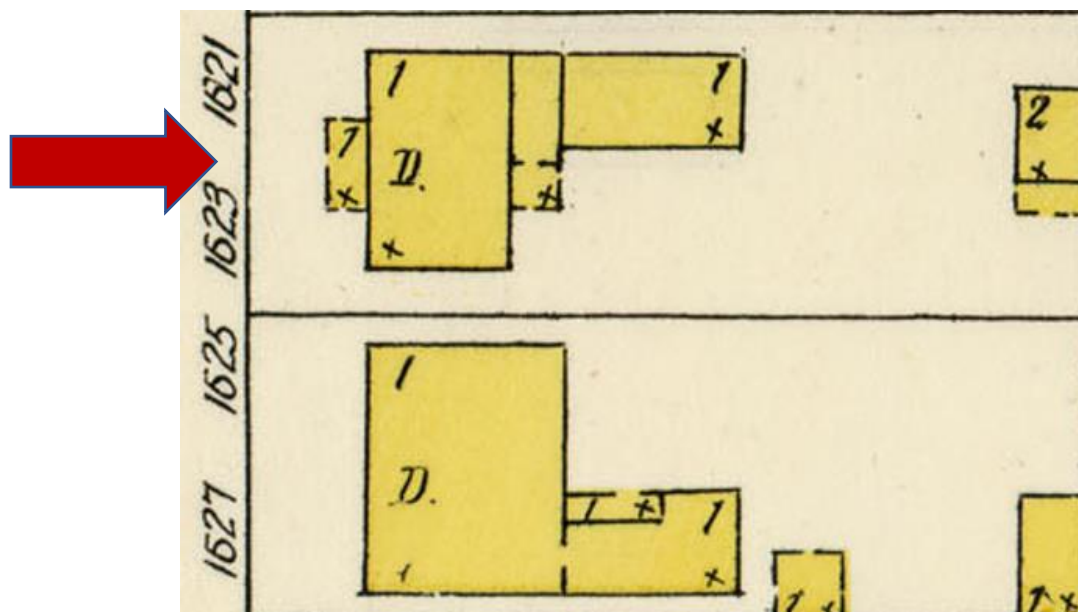
Ronald Hutchins, February 2022

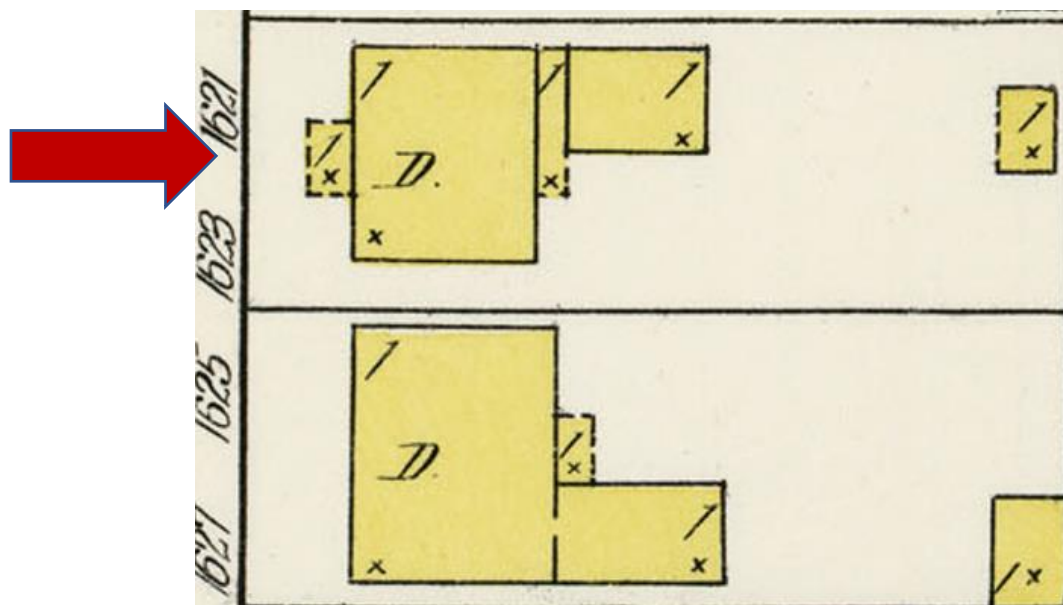
Current Owner, February 2024

Sanborn Fire Insurance Maps, Lots 1 and 2, Block 136

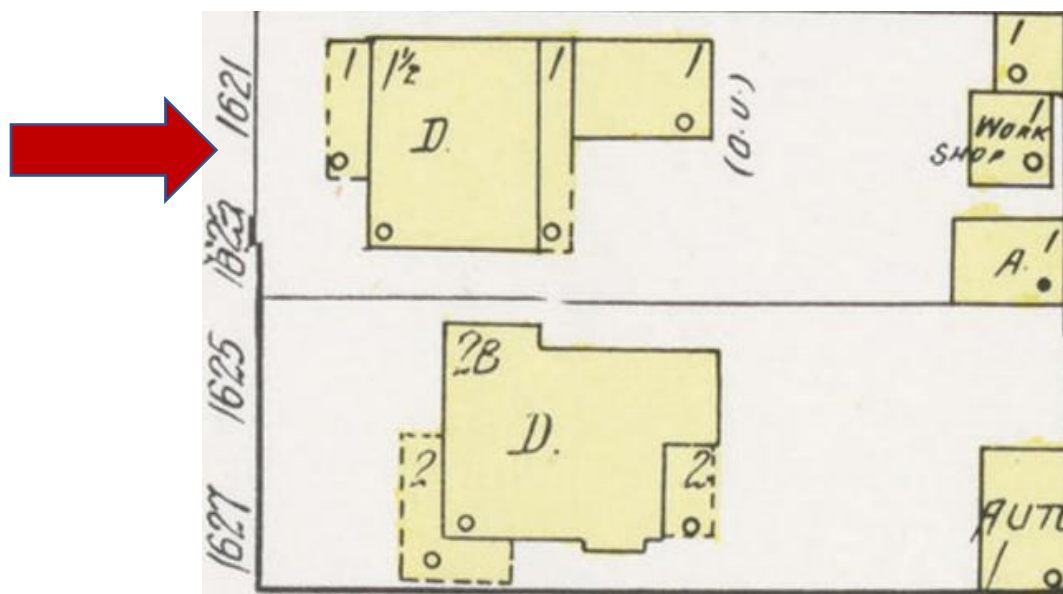


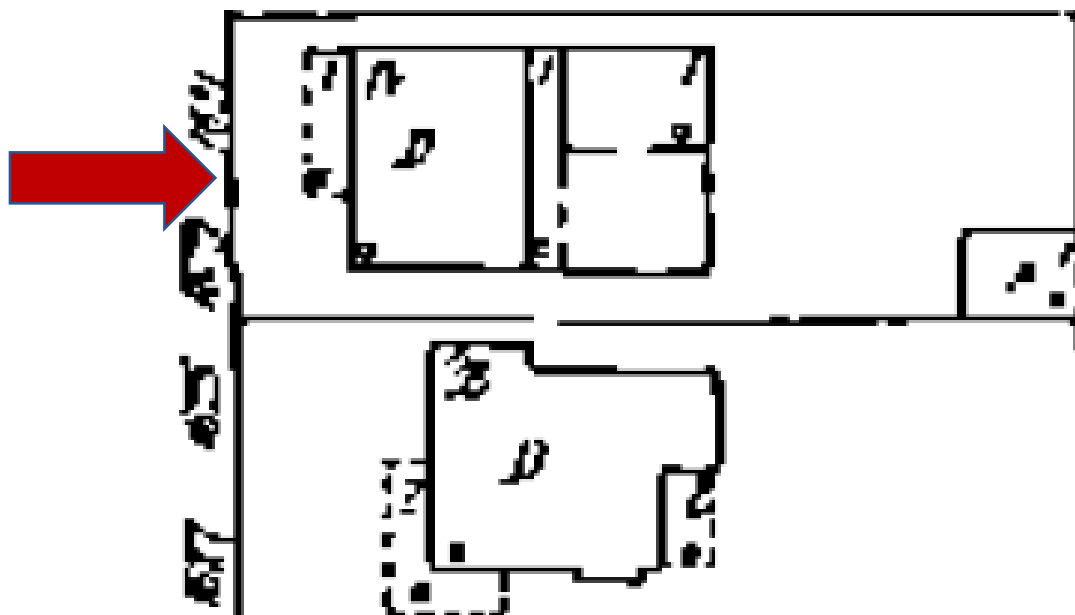
The Behrman lots, 1 and 2, in 1889 (above). The similarity of the two residential buildings is noted, with 1623 Broadway (Avenue J, identified with arrow) having a small front porch on the main elevation. Lot two also supported a two story accessory building against the south lot line on the alley. The 1899 Sanborn (below) noted no changes to the buildings.





Little change was noted to the lots on the 1912 Sanborn map (above), with exception being the accessory buildings on the lots. By 1947 (below) changes noted to the 1623 Broadway included expansion of front porch across the eastern two-thirds of the main elevation and expansion of the back porch that extended the full width of the building. A one story frame automobile garage is also noted on the south lot line at the alley, along with two additional frame buildings, noted as “work shop.” The 1947 map also captures the first footprint of 1627 Broadway, built in 1914.

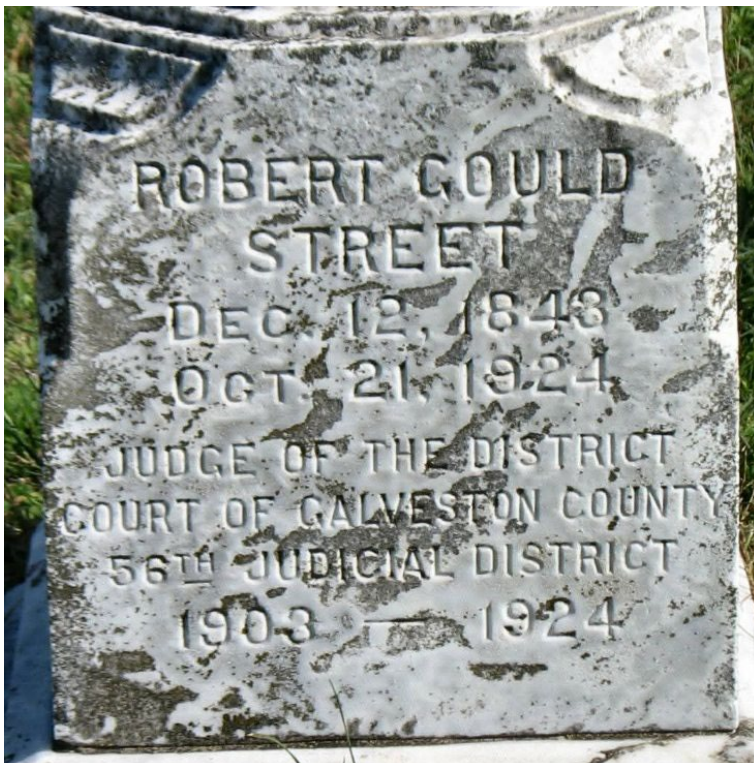




In 1985, the 1947 maps were updated and recorded changes to the lots made between 1947-1985. The front porch at 1623 Broadway remained unchanged while an addition at the back of the house enlarged the building substantially. All accessory buildings were gone by 1985, with the exception of the one car frame garage in the southwest corner of the lot. The front porch of 1623 Broadway was expanded to extend across the full width of the building sometime after 1985. The small roof gable centered above the entry in the middle of the porch is a remnant of the original small porch noted on earlier maps.



Judge Robert G. Street



Street Headstone

Judge Street Dies Tuesday in Galveston

Without knowledge of the death of Judge Robert Gould Street, 82 years of age, in Galveston, Texas, October 21, trustees of the University of Alabama last Saturday conferred the honorary degree of LL. D. upon him. Word reached friends here this week of the death of Judge Street on October 21, following an operation in which his age was against him. Funeral services were held at the First Presbyterian church in Galveston on October 23, and interment was in that city. He had been taken suddenly ill Monday, the day before his death.

Judge Robert G. Street, student in the University of Alabama from 1859 to 1861, whose grandmother kept the "Mansion House" here in Tuscaloosa's early days and whose mother was a resident of Tuscaloosa, died in Galveston, Texas, Tuesday night, October 21, friends in Tuscaloosa have learned. The Mansion House was one of Alabama's most famous hostleries in known to many Tuscaloosans.

Leaving college here Judge Stone enlisted as a private in the Twentieth Alabama Infantry regiment, and later in the Fifty-first Cavalry regiment, of the army of the Confederacy, from 1861 to 1865. On June 27, 1863, during General Bragg's retreat, he was captured and confined in the military prison at Fort Delaware until March 27, 1865. At the close of the Civil War he became a student at law in the office of General John T. Morgan, who commanded his regiment in the Confederate army.

In 1866 Judge Street was admitted to the Alabama bar, and the following year he went from Alabama to Galveston, Texas. He was first a member of the law firm of Gould and Street, later Street and Kieberg, and his early and later efforts met with uniform success. In 1879 he was elected to the Texas state senate, serving in the sessions of 1880-1881. He then returned to his private practice in Galveston. In 1902 he was elected judge of the district court in Galveston, a position he held continuously until his death. In 1907 he voluntarily assumed the conduct of a juvenile court in Galveston, sitting as the judge of that court each Saturday. That work was one in which he took special pleasure.

In 1914 Judge Street organized the United Charities of Galveston. He was a member of the American Bar Association and of the Texas Bar Association, and was the author of a number of books on legal subjects. He was married, on December 24, 1868, to Marie E. Lauve, of Galveston, Mrs. Street and six children are all deceased.

Street Obituary

NOTE WELL—INSTRUCTIONS ON THE REVERSE SIDE
WRITE MAINLY WITH UNFADING INK—THIS IS A PERMANENT RECORD

Where Stillborn is given as cause of Death, file birth Certificate. Every item of information should be carefully supplied. AGE should be stated EXACTLY. PHYSICIANS should state CAUSE OF DEATH in plain terms, so that it may be properly classified. Exact statement of OCCUPATION is very important.

PLACE OF DEATH		TEXAS STATE BOARD OF HEALTH BUREAU OF VITAL STATISTICS STANDARD CERTIFICATE OF DEATH		Reg. No. 3152249 B. O. V. S. FORM D	
County <u>Galveston</u>		City <u>Galveston</u> (No. <u>St Marys</u> <u>Primary</u> St.)		Registered No. <u>625</u> Ward	
FULL NAME <u>Robert Gaudet Street</u>		RESIDENCE NO. <u>1623 Broadway</u>			
Length of residence in city or town where death occurred <u>57</u> yrs. mos. ds. (If nonresident give city or town and State) (If of foreign birth? <u>2</u> yrs. mos. ds.)					
PERSONAL AND STATISTICAL PARTICULARS			MEDICAL PARTICULARS		
3 SEX <u>Male</u>	4 COLOR OR RACE <u>White</u>	5 SINGLE, MARRIED, WIDOWED OR DIVORCED (write the word) <u>Widowed</u>	14 DATE OF DEATH <u>October 21</u> 192 <u>4</u> (Month) (Day) (Year)		
6 DATE OF BIRTH <u>December 12</u> 18 <u>84</u> (Month) (Day) (Year)			17 I HEREBY CERTIFY, That I attended deceased from <u>October 18</u> , 192 <u>4</u> , to <u>October 21</u> , 192 <u>4</u> that I last saw him alive on <u>October 21</u> , 192 <u>4</u> and that death occurred on the date stated above, at <u>8:30</u> m. The CAUSE OF DEATH* was as follows: <u>Acute Peritonitis</u> (duration) yrs. mos. <u>1</u> ds. Contributory <u>Encysted Hernia</u> (Secondary) (duration) yrs. mos. <u>1</u> ds.		
7 AGE <u>80</u> yrs. <u>10</u> mos. <u>9</u> ds. If less than 2 years state if breast fed If less than 1 day Yes No hrs. mins.			18 Where was disease contracted If not at place of death? <u>At home</u> Did an operation precede death? <u>Yes</u> Date of <u>10/20/24</u> Was there an autopsy? <u>No</u> What test confirmed diagnosis? <u>Operation</u> (Signed) <u>Sur. Lee</u> M. D. <u>1922</u> , 192 <u>4</u> (Address) <u>820 W. North St. Bldg</u>		
8 OCCUPATION (a) Trade, profession or particular kind of work <u>Judge District Court</u> (b) General nature of industry, business or establishment in which employed (or employer)			*State the Disease Causing Death, or in deaths from Violent Causes, state (1) Means and Nature of Injury, and (2) whether Accidental, Suicidal, or Homicidal. (See reverse side for State Statutes.)		
9 BIRTHPLACE (State or country) <u>Greensboro, Ala.</u>			19 PLACE OF BURIAL OR REMOVAL <u>New City</u>		
10 NAME OF FATHER <u>John Vernon Street</u>			DATE OF BURIAL <u>Oct 23</u> 192 <u>4</u>		
11 BIRTHPLACE OF FATHER (State or country) <u>England</u>			20 UNDERTAKER <u>Levy Bros.</u>		
12 MAIDEN NAME OF MOTHER <u>Elizabeth Torrance</u>			ADDRESS <u>2216 04th</u>		
13 BIRTHPLACE OF MOTHER (State or country) <u>Statesville N. C.</u>					
14 THE ABOVE IS TRUE (Informant) <u>Galveston News Oct 22</u> (Address) <u>Galveston Tex</u>					
15 Filed <u>Oct 23</u> 192 <u>4</u> <u>A. Ricciavella</u> Registrar.					

Form 51b-T245-424-25m.

Street Death Certificate



25P-013

STAFF REPORT

ADDRESS:

Adjacent to 711 14th Street

LEGAL DESCRIPTION:

Adjacent property is legally described as M.B. Menard Survey, South 52 Feet of Lot 7 (7-2), Block 314, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Brax Easterwood

ADJACENT PROPERTY OWNER(S):

Scott Rice, Sandbar Properties LLC.

EASEMENT OWNER:

City of Galveston

ZONING:

Urban Neighborhood, Historic District
(UN-H)

REQUEST:

License to Use for building encroachments

APPLICABLE REGULATIONS:

Section 13.202 of the LDR and
Chapter 32-5 of the City Code of Ordinances

STAFF RECOMMENDATION:

Approval with findings and conditions

EXHIBITS:

A – Applicant's Submittal

STAFF:

Daniel Lunsford
Senior Planner
(409) 797-3659
dlunsford@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
26				

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department Notification Responses:

Airport: No Objection

Building Division: No Objection

Coastal Resources: No Objection

Fire Marshal: No Objection

Fire Chief: No Objection

Police Chief: No Objection

Public Works: No Objection

Private Utilities Notification Responses:

AT&T: No Objection

Comcast: No Objection

CenterPoint Energy: No Objection

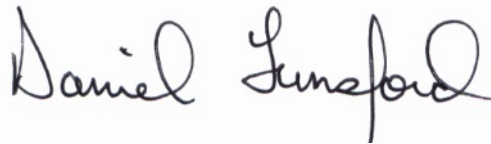
Texas Gas Service: No Objection



Executive Summary	The applicant is requesting a License to Use (LTU) the City right-of-way to address existing encroachments.
Physical Characteristics	The existing two-story structure was built prior to 1900 according to Sanborn Insurance maps. However, during ongoing renovations to the property encroachments were discovered. The encroachments are as follows: • The existing front entry porch encroaches approximately 2'-0" into the 14th Street right-of-way to the east, including roof overhang. • The existing house itself encroaches approximately 2'-2" into the mid-block alley to the south; again, this includes roof overhang. See Exhibit A for details of the extents and placement of the existing structure.
License to Use	A License to Use (LTU) is required prior to placing items within or otherwise obstructing City rights-of-way in accordance with Chapter 32-5 of the City Code of Ordinances. Section 13.202 of the Land Development Regulations (LDRs) establish the procedure for processing LTU approval.
Other Reviews	Because the subject property is in the East End Historic District, the Landmark Commission may provide a recommendation to Planning Commission regarding the request. Landmark Commission will consider the request at the April 21, 2025 meeting.
Staff Recommendation	Staff recommends approval subject to the following conditions: <i>Specific Conditions:</i> 1. The Licensee shall conform to the site plan in Exhibit A and shall not increase the degree of encroachment without proper review under separate application; 2. The Licensee shall be responsible for any damage to the right-of-way area caused by the installation and maintenance of the construction items, and should the right-of-way be damaged in any way, the Licensee shall repair the area; <i>Standard Conditions:</i> 3. The Licensee shall conform to all comments/conditions received from City departments and shall obtain all applicable required permits, construction documents, and inspections. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval. Failure to comply with all comments/conditions may result in penalties and/or revocation of this permit; 4. The cleaning of the debris from the site shall be the responsibility of the Licensee; 5. The Licensee and all of the Licensee's rights granted are conditioned that owners of utility facilities, whether publicly or privately owned, have at all times access to the property made subject of the License, together with the right to enter the property and excavate for the purpose of repairing, replacing, locating and maintaining such utility facilities, if any; 6. The Licensee shall execute the License to Use Agreement within 90-days from the date the Planning Commission approved the License to Use, otherwise the Agreement shall be of no further effect and shall be considered as having been canceled fully; 7. LICENSEE UNDERTAKES AND PROMISES TO HOLD THE CITY OF GALVESTON HARMLESS AND TO INDEMNIFY AND DEFEND IT AGAINST ALL SUITS JUDGMENTS, COSTS, EXPENSES AND DAMAGES THAT MAY ARISE OR GROW OUT OF THE USE OR GRANT OF THE LICENSE TO USE CITY RIGHT-OF-WAY UNDER THIS AGREEMENT REGARDLESS OF FAULT; and

8. The City does retain the right and option to cancel the License and terminate all rights of the License upon ninety (90) days written notice of such cancellation and termination, sent to Licensee at the mailing address provided herein; and, Licensee agrees and shall be obligated to vacate the property made subject of the license and to remove all improvements and/or obstruction located thereon at Licensee's own expense prior to the expiration of said 90-day notification period.

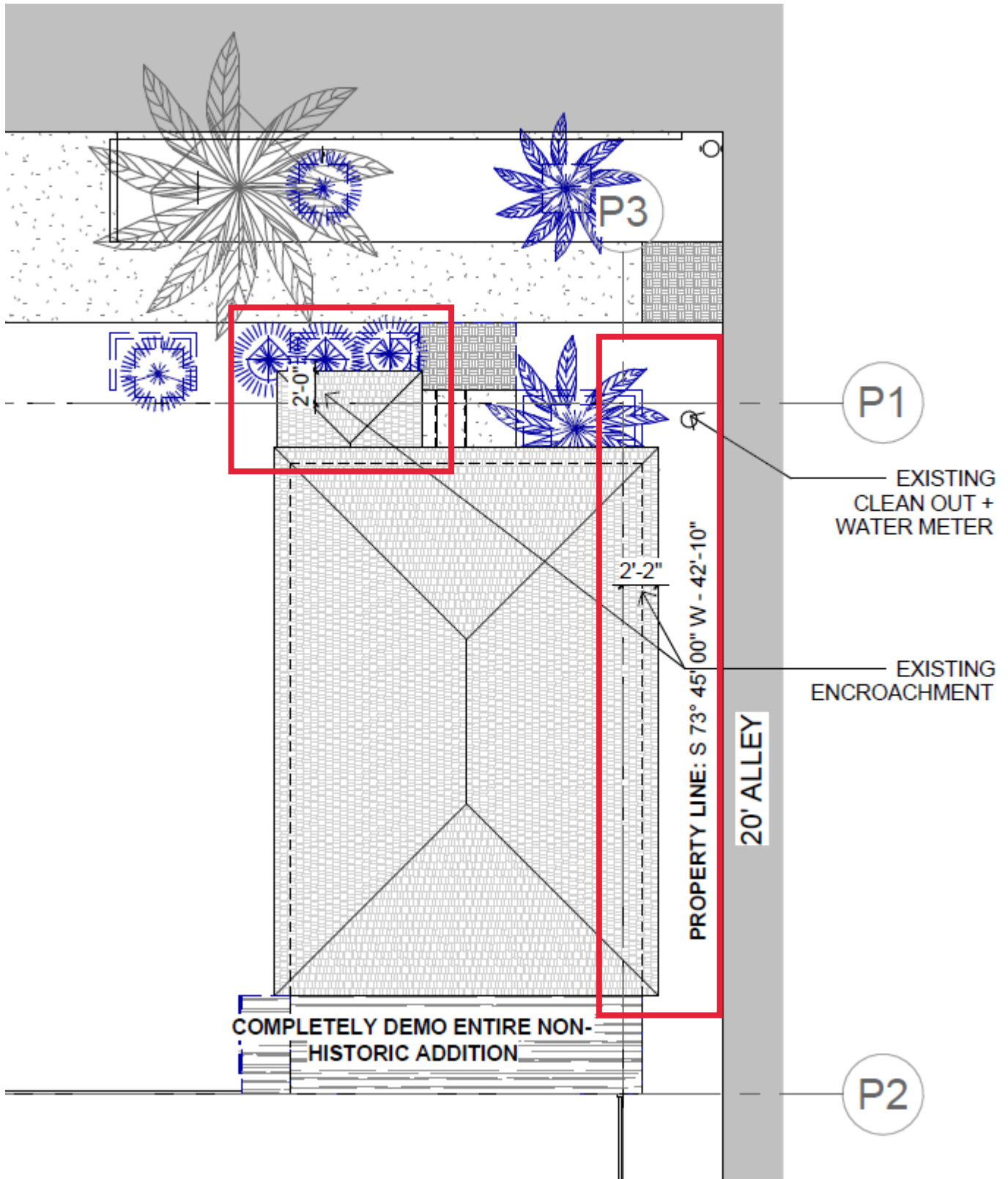
Respectfully Submitted,

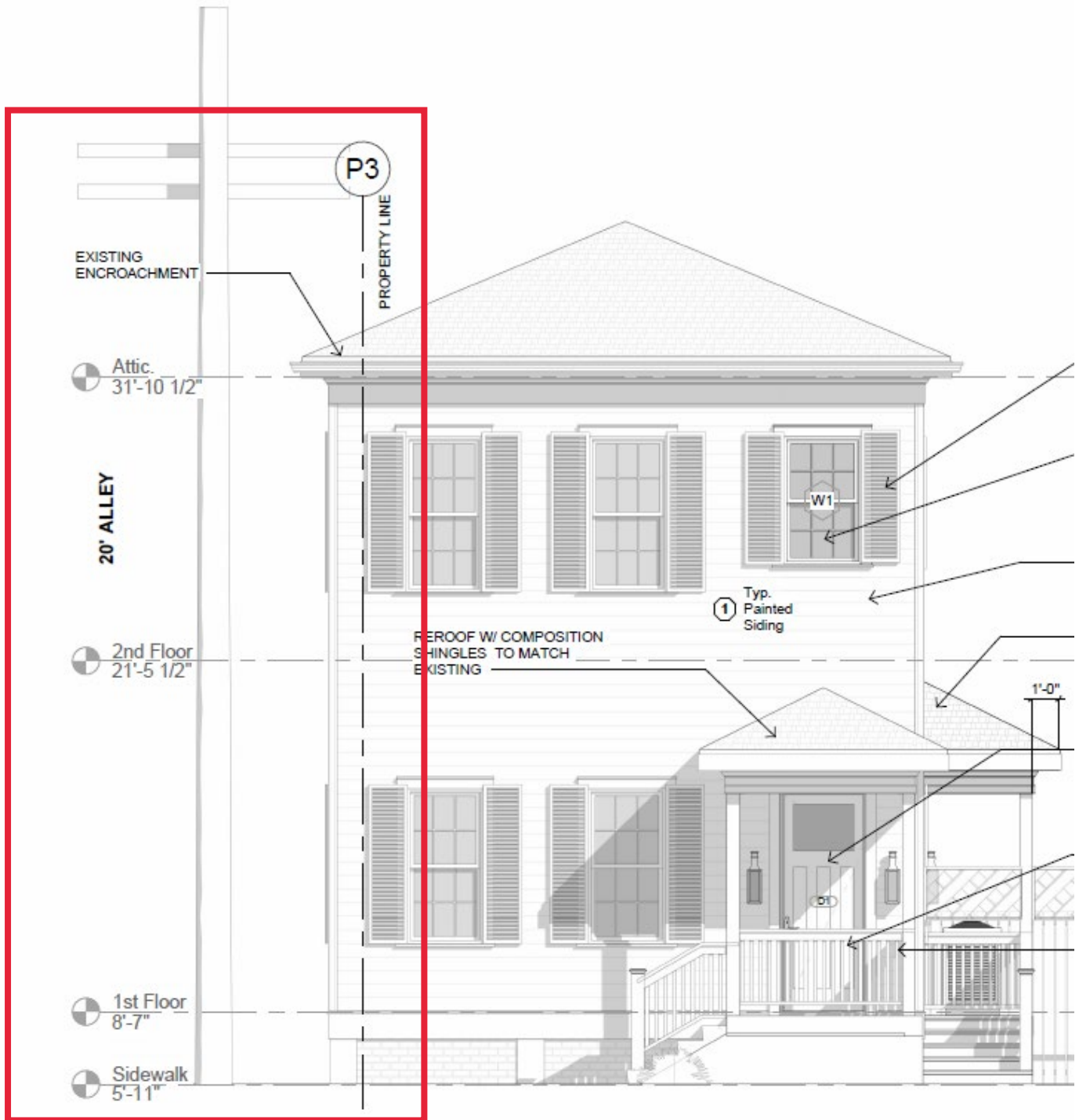
A handwritten signature in black ink that reads "Daniel Lunsford". The signature is written in a cursive style with a large, stylized 'D' and 'L'.

Daniel Lunsford
Senior Planner

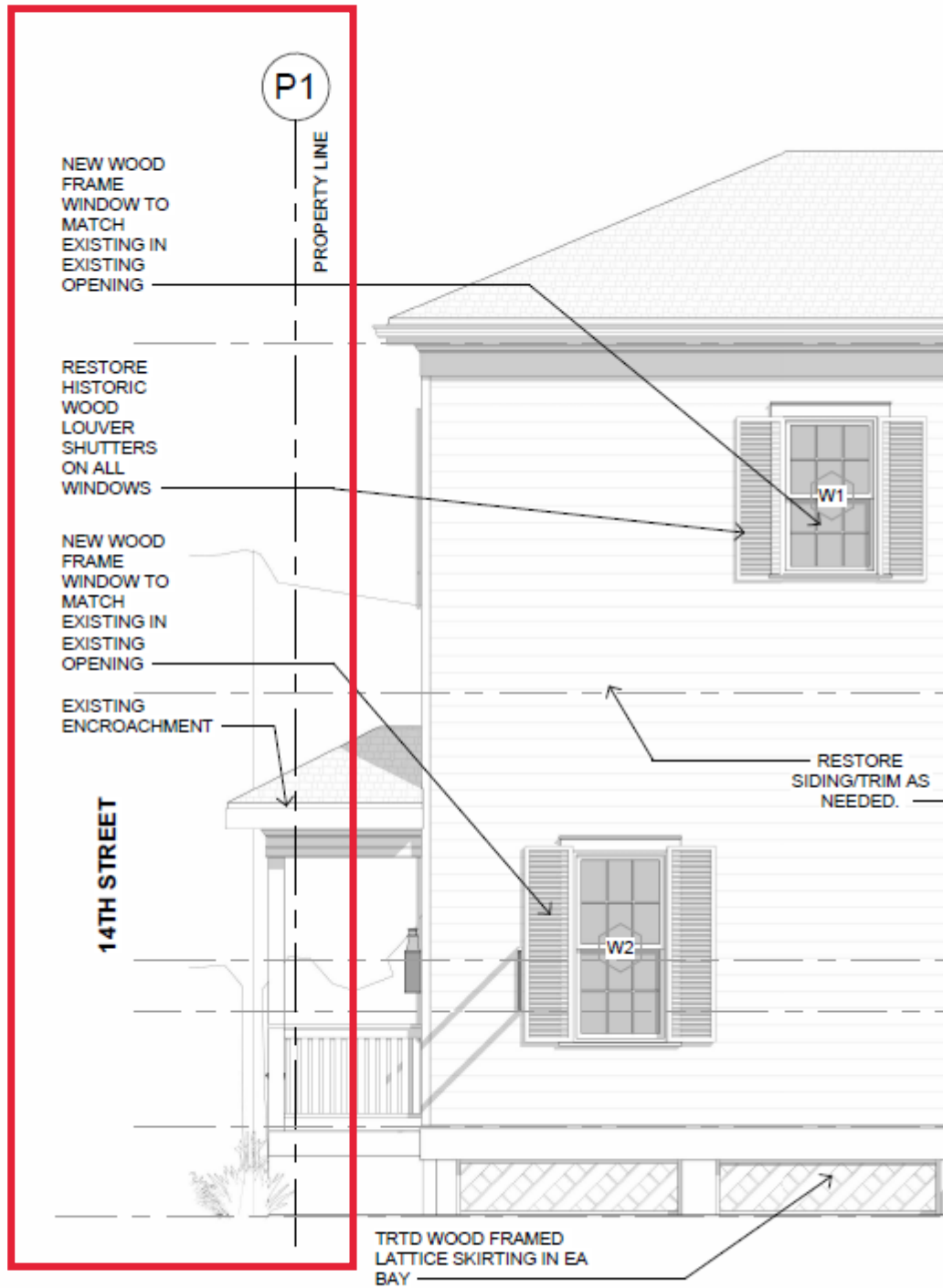
April 11, 2025

Date





① East (711)
1/4" = 1'-0"



② North (711)
1/4" = 1'-0"



MEMORANDUM

TO: Rusty Walla, Planning Commission Chairperson and Planning Commissioners

FROM: Catherine Gorman, AICP
Assistant Director/Historic Preservation Officer
Development Services Department

DATE: April 15, 2025

RE: **25P-014 (1802, 1902 and 1920 Harborside)** Request for a Planned Unit Development (PUD) Overlay District for a "Parking Lot, Commercial Surface Parking Area". Property is legally described as M.B. Menard Survey; Lots 8-11, Block 738; Lots 12-14 (12-0), Block 738 and Lots 8-10, Block 739, and Portion of Adjacent 19th Street; and Lots 11-14, Block 739; in the City and County of Galveston, Texas.
Applicant: Shae Jobe
Property Owner: Harbor Properties, Inc.

Staff is requesting deferral of this request to the May 6, 2025 meeting in order for the applicant to provide additional information.

This is the first request for deferral and there were no costs associated with the request.