

**NOTICE OF MEETING
ZONING BOARD OF ADJUSTMENT
OF THE CITY OF GALVESTON
WEDNESDAY, APRIL 9, 2025 - 3:30 PM
REGULAR MEETING
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas**

**One or more members of the Zoning Board of Adjustment may attend the meeting
by videoconference.**

**A quorum of the members of the Zoning Board of Adjustment will be physically
present at the meeting location.**

1. Call Meeting to Order

2. Attendance

3. Conflict of Interest

4. Welcome New Member

5. Approval of Minutes

5.A March 5, 2025 - Regular Meeting

6. Public Comment

Request to Address Board on Agenda Items Without Public Hearings and Non-Agenda Items (three-minute maximum per speaker. If speaking through a translator, six-minute maximum per speaker)

7. Discussion Items

7.A Discussion of Zoning Board of Adjustment power to hear Landmark Commission appeals (Staff)

8. New Business and Associated Public Hearings

8.A **25Z-004 (8819 Stewart Road)** Request for a variance from the Galveston Land Development Regulations, Article 10, Height and Density Development Zone regarding Build-to-Line and Wall Plane Articulation. Property is legally described as Hall & Jones Survey, Lot B, Chauhan Subdivision (2007), in the City and County of Galveston, Texas. Applicant: Rafiq Ali, Catalyst Technical Group, Incorporated
Property Owner: Harold Smart, Vrone Hospitality, LLC on behalf of OKG LLC

8.B **25Z-005 (1721 Postoffice / Avenue E)** Request to appeal the City of Galveston Landmark Commission's decision regarding case 25LC-002: Request for a Certificate of Appropriateness for modifications to the structure including use of an alternative material, replacement of existing windows, and addition of covered porch to the rear façade. The property is legally described as Abstract 628 M.B. Menard Survey, Lot 2 & West 10-8.5 Feet of Lot 3, Block 437, in the City and County of Galveston, Texas.
Applicant: Robert Faickney
Property Owner: Donna Baker and Robert Faickney

9. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on 04/03/2025 at 11:00 AM

Karina Rosales, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TEXAS 77550 (409-797-3510).

MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING.



City of Galveston

MINUTES OF THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF GALVESTON REGULAR MEETING – March 5, 2025

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present: Lidija Bikova, James Fagan, Barbara Railey, Becca Scoville (Alternate), Susan Syler,

Members Absent: Carol Hollaway, Ex-Officio David Finklea

Staff Present: Catherine Gorman, AICP, Assistant Director/HPO; Daniel Lunsford, Senior Planner; Donna Fairweather, Sr. Assistant City Attorney; Karina Rosales, Planning Technician.

CONFLICT OF INTEREST

None

APPROVAL OF MINUTES

The February 5, 2025, regular meeting minutes were approved as presented.

PUBLIC COMMENT

None

DISCUSSION ITEMS

Staff opened the “Discussion of Zoning Board of Adjustment power of Change of Occupancy from on Non-Conforming Use to Another (Staff)” item.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

25Z-002 (1814 33rd Street) Request, in accordance with the Galveston Land Development Regulations Section 12.401, for a Change of Occupancy from one non-conforming use to another. Property is legally described as M. B. Menard Survey, Part of Lot 13 and North 37-5 feet of Lot 14 (2014-2), Southwest Block 63, Galveston Outlots, in the City and County of Galveston, Texas.

Applicant: Sammy Huen

Property Owner: Top One Investments LLC

Staff presented the staff report and reported that of 30 notices sent, two returned in favor, and one in opposition.

Chairperson Bikova opened the public hearing on the case. The applicant, Sammy Huen, gave a presentation to the board. See the attached list for presentations made at the board. The public hearing was closed, and the Chairperson called for a motion.

Board Member Fagan made a motion to approve the request. Board Member Scoville (Alternate) seconded.

Chairperson Bikova called for questions or comments from the Board, and the following votes were cast:

In favor:	Bikova, Fagan, Railey, Scoville (Alternate), Syler
Opposed:	None
Absent:	Hollaway, Ex-Officio David Finklea
Non-voting participant:	None

The motion passed.

25Z-003 (1222 103rd Street) Request for a special exception from the Galveston Land Development Regulations, Article 3, District Yard, Lot and Setback Addendum, for the Residential, Single-Family (R-1) zoning district, to reduce the front yard setback. Property is legally described as Abstract 121, Hall & Jones Survey, Lot 27, Airport Homesites Section 4, in the City and County of Galveston, Texas.

Applicant: Matthew Walla

Property Owners: Reagan and Elizabeth Walla

Staff presented the staff report and reported that of 15 notices sent, two returned in favor.

Chairperson Bikova opened the public hearing on the case. The applicant and property owner, Matthew Walla, gave a presentation to the board. The public hearing was closed, and the Chairperson called for a motion.

Board Member Railey made a motion to approve the request. Board Member Fagan seconded.

Chairperson Bikova called for questions or comments from the Board, and the following votes were cast:

In favor:	Bikova, Fagan, Railey, Scoville (Alternate), Syler
Opposed:	None
Absent:	Hollaway, Ex-Officio David Finklea
Non-voting participant:	None

The motion passed.

THE MEETING ADJOURNED AT 3:59 PM





25Z-004

STAFF REPORT

ADDRESS:

8819 Stewart Road

LEGAL DESCRIPTION:

Property is legally described as Hall & Jones Survey, Lot B, Chauhan Subdivision (2007), in the City and County of Galveston, Texas

APPLICANT/REPRESENTATIVE:

Rafiq Ali, Catalyst Technical Group, Incorporated

PROPERTY OWNER:

Harold Smart, Vrone Hospitality, LLC on behalf of OKG LLC

ZONING:

Resort/Recreation, Height and Density Development Zone, Zone-5 (C-HDDZ-5)

VARIANCE REQUEST:

Height and Density Development Zone (HDDZ) standards – Build-to-Line and Wall Plane Articulation

APPLICABLE ZONING REGULATIONS:

Article 10, Height and Density Development Zone

EXHIBITS:

A – Applicant's Submittal

STAFF:

Catherine Gorman, AICP
 Assistant Director/HPO
 409-797-3665
 cgorman@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
6				

Per Section 13.308 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department Notification Responses:

Airport: No Objection
 Building Division: No Objection
 Coastal Resources: No Objection
 Fire Marshal: No Objection
 Fire Chief: No Objection
 Police Chief: No Objection
 Public Works: No Objection

Private Utilities Notification Responses:

AT&T: No Objection
 Comcast: No Objection
 CenterPoint Energy: No Objection
 Texas Gas Service: No Objection



Executive Summary

The applicant is requesting variance from two sections of the Height and Density Development Zone (HDDZ) standards – Build-to-Line and Wall Plane Articulation. The HDDZ standards require that at least 30% of the building be located at the Build-to-Line along Stewart Road property line. The request is to eliminate the build-to-line requirement.

Wall Plane Articulation is required in order to encourage a varied and interesting street front and break down the visual mass of taller buildings elements. The regulations require the exterior walls be designed with changes of depths to avoid flat walls – every 30 feet, the wall must move in or out by five feet for a length of 10 feet. The request is to reduce the required articulation elements.

Requested Variance

	HDDZ Requirement	Proposed Variance
Build-to-Line	30%	Eliminate requirement
Wall Plane Articulation	Building Wall Max Length – 30 feet Offset Length – 10 feet	Building Wall Max Length – 70 feet Offset Length – 92 feet

Land Development Requirements

SEC. 13.401.B VARIANCES FROM DEVELOPMENT STANDARDS

Approval Standards. The Board of Adjustment may grant a variance under this Section only if the variance is not prohibited by Section 12.401.C, and if the Zoning Board of Adjustment makes a determination in writing that all of the following are demonstrated:

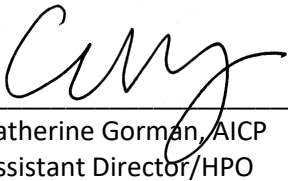
1. The request for the variance is rooted in special conditions of the applicant's property that do not generally exist on other properties in the same zoning district.
2. Due to said special conditions, the enforcement of the strict terms of these regulations would impose an unnecessary hardship on the applicant.
3. The variance is not contrary to the public interest, in that:
 - a. It does not allow applicants to impair the application of these regulations for:
 - a. Self-imposed hardships;
 - b. Hardships based solely on financial considerations, convenience, or inconvenience; or
 - c. Conditions that are alleged to be "special" but that are actually common to many properties within the same zoning district.
 - b. The variance will not have a detrimental impact upon:
 - a. The current or future use of adjacent properties for purposes for which they are zoned;
 - b. Public infrastructure or services; and
 - c. Public health, safety, morals, and general welfare of the community.
4. The degree of variance allowed from these regulations is the least that is necessary to grant relief from the identified unnecessary hardship.
5. The variance shall not be used to circumvent other procedures and standards of these regulations that could be used for the same or comparable effect (e.g., if alternative development patterns, alternative development standards, or other flexible measures in these regulations are available that would avoid or mitigate hardship without using a variance, then they must be used).

6. By granting the variance, the spirit of these regulations is observed and substantial justice is done.

**Applicants'
Justification**

Please see Exhibit A for the Applicant's Justification for the requested variances.

Respectfully submitted,



Catherine Gorman, AICP
Assistant Director/HPO

04/01/2025
Date

Variance #1 - Minimum required 30% of Building at Build-to-line

1. How is the request for the variance rooted in special conditions of your property that does not generally exist on other properties in the same zoning district?

The subject property is uniquely constrained by its proximity to an FAA-regulated approach/departure Runway Protection Zone (RPZ). This federal airspace regulation imposes obstacle clearance requirements that restrict where structures can be placed on the site. These conditions do not generally exist for other properties in the same zoning district, making this a unique limitation specific to this parcel.

2. Due to the said special conditions, how would the enforcement of the strict terms of these regulations impose an unnecessary hardship on you?

Enforcement of the strict 30% minimum build-to-line regulation would conflict with FAA requirements, effectively prohibiting the proposed development within the regulated clearance area. This would constitute an unnecessary hardship, as compliance would render the property undevelopable.

3. Explain how variance is not contrary to the public interest.

The requested variance serves the public interest by ensuring compliance with FAA regulations, thereby promoting aviation safety and responsible land use near flight paths. It protects public health and safety while allowing for the reasonable hotel development of the property.

4. Explain how the variance does not allow you to impair the application of these regulations for:

- Self-imposed hardships.
- Hardships based solely on financial considerations, convenience, or inconvenience; or
- Conditions that are alleged to be "special" but that are actually common to many properties within the same zoning district.

The hardship faced by the applicant is not self-imposed but arises due to federal airspace regulations beyond the applicant's control. The hardship faced by the applicant is not self-imposed but arises due to federal airspace regulations beyond the applicant's control.

5. Explain how variance will not have a detrimental impact upon:

- The current or future use of adjacent properties for purposes for which they are zoned.
- Public infrastructure or services; and
- Public health, safety, morals, and general welfare of the community.

Granting the variance will not negatively impact adjacent properties, as the proposed development respects the zoning and intended use of neighboring parcels. It will not burden public infrastructure or services and will maintain the public's health, safety, and welfare.

6. Explain how the degree of variance allowed from these regulations is the least that is necessary to grant relief from the identified unnecessary hardship.

This variance request represents the least deviation necessary from the zoning regulations to provide relief from the identified hardship. The request seeks only to adjust the build-to-line requirement to accommodate FAA-mandated safety clearances without compromising the broader objectives of the zoning code.

7. Explain how the variance shall not be used to circumvent other procedures and standards of these regulations that could be used for the same or comparable effect (e.g., if alternative development patterns, alternative development standards, or other flexible measures in these regulations are available that would avoid or mitigate hardship without using a variance, then they must be used).

Alternative development patterns or flexible measures within the existing regulations are insufficient to mitigate the hardship caused by FAA restrictions. A variance is the only viable solution to facilitate safe and compliant development while upholding zoning standards.

8. By granting the variance, is the spirit of the Land Development Regulations observed, and substantial justice done?

Granting this variance supports the spirit of the Land Development Regulations by balancing safe, responsible development with the need to comply with federal airspace regulations. The variance ensures substantial justice is served by recognizing the property's unique conditions while aligning with the community's development goals.

Variance #2 - Wall Plane Articulation

1. How is the request for the variance rooted in special conditions of your property that does not generally exist on other properties in the same zoning district?

*The request is rooted in special conditions that are unique to this project and do not generally apply to other properties in the same zoning district. As a franchise hotel, **Atwell Suites by Hilton** requires adherence to specific architectural layouts, including fixed room sizes and a standardized exterior design. These franchise-mandated restrictions ensure brand consistency across all locations, leaving limited flexibility for modifying the building's external structure to meet local articulation requirements.*

2. Due to the said special conditions, how would the enforcement of the strict terms of these regulations impose an unnecessary hardship on you?

Enforcing the wall plane articulation requirements would impose an unnecessary hardship by preventing us from complying with the franchise's required layout and design standards. Altering the room sizes or exterior design to meet the articulation requirements would violate Hilton's brand guidelines, disqualifying the hotel from operating under the Atwell Suites franchise. This would result in a significant operational setback, as the design alterations would compromise brand identity and customer expectations.

3. Explain how variance is not contrary to the public interest.

*Granting this variance is **not contrary to the public interest**. The project is designed to meet all other zoning and development standards while enhancing the economic vitality of the surrounding area. The hotel will contribute to local tourism, generate employment opportunities, and increase city revenues without negatively affecting public welfare or the surrounding properties' character.*

4. Explain how the variance does not allow you to impair the application of these regulations for:

- Self-imposed hardships.
- Hardships based solely on financial considerations, convenience, or inconvenience; or
- Conditions that are alleged to be "special" but that are actually common to many properties within the same zoning district.

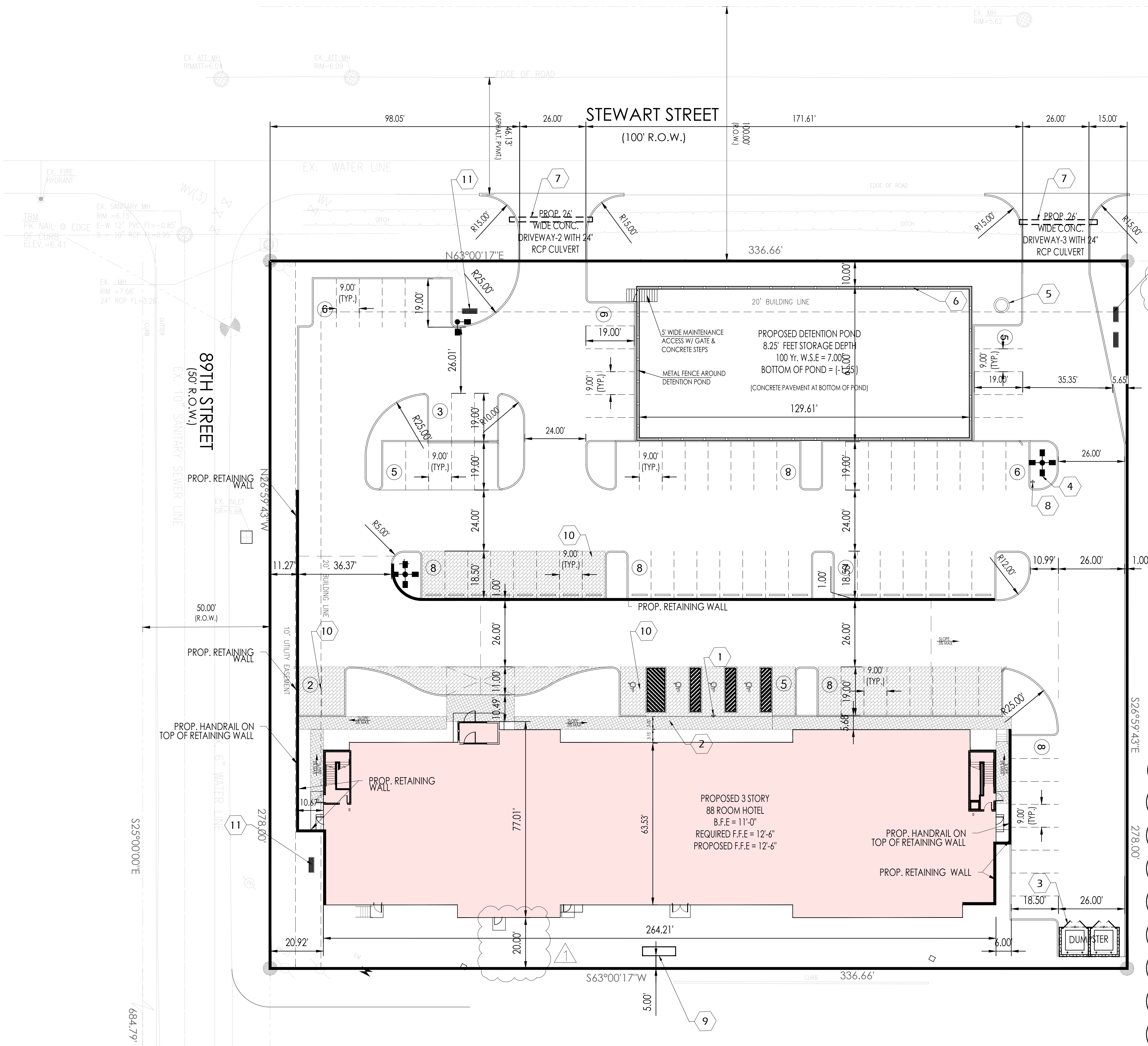
This request does not impair the application of city regulations because:

The hardship is not self-imposed but results from franchise design requirements beyond our control.

The request is not based on financial considerations or convenience but on compliance with Hilton's mandatory design standards.

The special conditions cited are unique to franchise hotels of this nature and are not common to other properties in the zoning district.

5. Explain how variance will not have a detrimental impact upon:
- The current or future use of adjacent properties for purposes for which they are zoned.
 - Public infrastructure or services; and
 - Public health, safety, morals, and general welfare of the community.
- The requested variance will **not have a detrimental impact** on:*
- *The **current or future use** of adjacent properties, as the hotel's design remains compatible with the surrounding land uses.*
 - ***Public infrastructure or services**, as the development meets all other infrastructure requirements and will not place undue strain on local utilities or transportation systems.*
 - ***Public health, safety, morals, or general welfare**, since the project complies with all applicable building codes and safety standards.*
6. Explain how the degree of variance allowed from these regulations is the least that is necessary to grant relief from the identified unnecessary hardship.
- The variance requested represents the least degree of deviation necessary to address the hardship caused by the franchise's design restrictions. All other aspects of the design will comply with city requirements, and we are committed to incorporating other architectural elements—such as façade treatments and landscaping enhancements—to maintain visual appeal and comply with the spirit of the regulations.*
7. Explain how the variance shall not be used to circumvent other procedures and standards of these regulations that could be used for the same or comparable effect (e.g., if alternative development patterns, alternative development standards, or other flexible measures in these regulations are available that would avoid or mitigate hardship without using a variance, then they must be used).
- This variance is not intended to circumvent other procedures or standards of the Land Development Regulations. No alternative development patterns or flexible measures would resolve this issue without violating the franchise's requirements. This request is made only because no feasible alternatives exist to meet both franchise guidelines and the city's articulation requirements simultaneously.*
8. By granting the variance, is the spirit of the Land Development Regulations observed, and substantial justice done?
- By granting this variance, the spirit of the Land Development Regulations will be observed, and substantial justice will be done. The design remains consistent with the city's broader development goals, enhances the surrounding area's aesthetic appeal, and contributes to the local economy, all while respecting the unique conditions imposed by the franchise standards.*



KEY NOTES

- 1 PROPOSED HANDICAP ACCESSIBLE PARKING SPACE SIGN
- 2 PROPOSED 5' CONCRETE SIDEWALK
- 3 PROPOSED DUMPSTER ENCLOSURE (DETAILS REF. CD-1.0)
- 4 20' LIGHT POLE INSTALLED 2' FROM EDGE OF CURB. (DETAILS REF. CD-1.0) & LOCATION OF LIGHT REF E002
- 5 PROPOSED WET WELL
- 6 PROPOSED FENCE
- 7 PROPOSED 24' DRIVEWAY WITH SINGLE 40LF 24\" RCP CULVERT
- 8 PROPOSED SIGN "PARKING AREA SUBJECT TO FLOODING DURING TO RAINFALL EVENTS"
- 9 LOCATION FOR FUTURE GAS GENERATOR
- 10 PROPOSED PERVIOUS PAVER AREA
- 11 PROPOSED PARK BENCHES

PARKING CALCULATIONS

PROPOSED LAND USE:
COMMERCIAL USE

PREVIOUS LAND USE:
COMMERCIAL - VACANT

PROPOSING 3 STORY HOTEL (88 ROOMS)

NO. OF PARKING SPACES REQUIRED
1 SPACE FOR EVERY GUEST ROOM = (1*88) = 88 SPACES

NUMBER OF PROPOSED PARKING SPACES REQUIRED ONSITE:
88 SPACES TOTAL

NUMBER OF PROPOSED PARKING SPACES PROPOSED ONSITE:
88 SPACES TOTAL (84 REGULAR AND 4 ADA ACCESSIBLE)

NUMBER OF PROPOSED PARKING SPACES OFF-STREET:
N/A

LEGAL DESCRIPTION

2.15 ACRES, LOT "B" CHAUHAN SUBDIVISION (OUT OF ADDIE L. JINEMANN SUBDIVISION No. 2) ACCORDING TO THE MAP OR PLAT THERE OF RECORDED IN PLAT RECORD 200G-A, MAP NO. 54 OF THE MAP RECORDS OF GALVESTON COUNPP, TEXAS.

DEVELOPMENT AREA

TOTAL ACREAGE = 2.15 ACRES

PROPOSED DEVELOPMENT = 2.15 ACRES

TYPE OF DEVELOPMENT = COMMERCIAL USE (3 STORY HOTEL BUILDING)

BENCH MARK INFORMATION

BENCHMARK : NGS AW059
ELEVATION = 14.37' (NAVD88, 2001 ADJ.)

LOCATION : (LAST RECOVERY 2021 BY BLUCHER INSTITUTE) IN GALVESTON, AT THE INTERSECTION OF SEAWALL BOULEVARD AND 25TH STREET, IN A CONCRETE SEA WALL ALONG THE SOUTH SIDE OF THE BOULEVARD, 25.0M(62.0FT) NORTH EAST OF THE EXTENDED CENTER OF THE NORTHBOUND LANE OF THE STREET, 12.0M(39.4FT) SOUTHEAST OF THE CENTER OF THE EAST BOUND LANES OF THE BOULEVARD, 6.0M(26.2FT) EAST OF A POLE SUPPORTING AT RAFFIC SIGNAL 4.2M(13.6FT) NORTH EAST OF THE CENTER OF THE EAST DRIVEWAY LEADING TO THE FLAGSHIP HOTEL, 3.0M(9.6FT) WEST OF THE CENTER OF A ROAD LEADING TO A BEACH, AND 0.7M(2.3FT) NORTHWEST OF THE SOUTHEAST EDGE OF THE SEAWALL.

FLOOD PLAN INFORMATION

SUBJECT PROPERTY IS LOCATED IN A FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE "AE"

MAP # 48167C PANEL 0438G, DATED 08-15-2019

100 Yr. B.F.E = 11.00

Height and Density Development Zone (HDDZ) Code Analysis

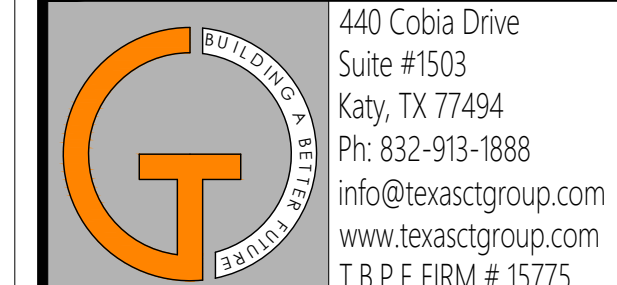
DIVISION 10.300	HDDZ	= 5	
Sec. 10.304	CHARACTER AREA	= SEAWALL WEST	
Sec. 10.302	HEIGHT AND DENSITY TIERS	Base Tier (very low-rise and low-rise)	
SEC. 10.305		Prop. Bldg. height '38' max.	
SEC. 10.306.B	SITE AREA	= 93951 Sq.Ft. (2.15 AC)	
		REQUIRED	PROVIDED
SEC. 10.306.B	SITE AREA	= 3000 Sq.Ft (0.069 Ac)	93951 Sq.Ft. (2.15 AC)
SEC. 10.306.C	Percentage at Build-To-Line (min.)	30%	0%
	STEWART STREET	=	
	Percentage at Build-To-Line (min.)	30%	100%
	89th STREET	=	
	Front Setback (feet)	= 0	185
	Side Setback (feet)	= 0	21 & 51.5
	Rear Setback (feet)	= 20	20
SEC. 10.307.C	BUILDING MASS AND FORM STANDARDS		
	Wall Plane Articulation		
	OFFSET DEPTH	= 5' MIN.	8' MAX, 5' MIN.
SEC. 10.311	FLOOR AREA RATIO (FAR) (Max)	= 1.5	0.57
	IMPERVIOUS AREA		
	IMPERVIOUS AREA LOT COVERAGE (% Max)	= 75%	75%
	IMPERVIOUS AREA LOT COVERAGE (sq.ft)	= 70463	70463
	PERVIOUS PAVERS		
	PROP. PERVIOUS PAVER AREA (%)	= -	5%
	PROP. PERVIOUS PAVER AREA (SQ.FT)	= -	4698
	LANDSCAPE AREA		
	LANDSCAPE AREA (%)	= -	12%
	LANDSCAPE AREA (SQ.FT)	= -	11274
	PUBLIC OPEN SPACE		
	PUBLIC OPEN SPACE (%)	= 8%	8%
	PUBLIC OPEN SPACE (SQ.FT)	= -	7516
SEC. 10.312	COMMUNITY BENEFITS	= HOTEL	HOTEL

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DESIGN + BUILD

P: 713.377.6699
E: mak@alliancepd.com
10615 Rockley Road,
Houston 77099



CATALYST TECHNICAL GROUP, INC.

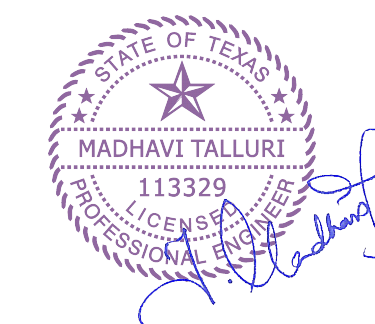
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No.	DATE	REVISIONS
1	01-10-2025	CITY COMMENT UPDATED
2	02-20-2025	CITY COMMENT UPDATED

PROJECT TITLE

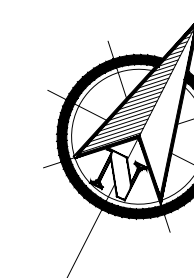
ATWELL SUITES
LOCATED AT
8819 STEWART ROAD
GALVESTON, TX-77554

SEAL



DATE: 2/25/2025

GENERAL NOTES:



CTG Project Number: 23-037

Drawn By: S.K

Checked By: T.M

Scale: 1" = 30'

File Path:

\\n\eng\2023 eng\2023 commercial\23037 - atwell suites - stewart road - 8819\ctg\civil\1-0 site plan

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-1.0

NOTES CORRESPONDING TO SCHEDULE "B" ITEMS:

10 a. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED B AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.

10 b. ITEM IS NOT OF SURVEYING NATURE

10 c. ITEM IS NOT OF SURVEYING NATURE

10 d. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF THE GEOTHERMAL ENERGY AND ASSOCIATED RESOURCES BELOW THE SURFACE OF THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF THE GEOTHERMAL ENERGY AND ASSOCIATED RESOURCES BELOW THE SURFACE OF THE LAND THAT ARE NOT LISTED.

10 e. SUBJECT TO THE FOLLOWING BUILDING LINES AND EASEMENTS AS REFLECTED ON THE MAP OR PLAT FILED UNDER PLAT RECORD 2006-A, MAP NUMBER 54, OF THE MAP RECORDS OF GALVESTON COUNTY, TEXAS:

BUILDING LINE 20 FEET IN WIDTH, LOCATED ALONG THE NORTHWESTERLY AND SOUTHWESTERLY PROPERTY LINES. SHOWN HEREON.

UTILITY EASEMENT 20 FEET IN WIDTH, LOCATED ALONG THE SOUTHWESTERLY PROPERTY LINE. SHOWN HEREON.

10 f. AVIGATION AND CLEAR ZONE EASEMENT(S) AS SET FORTH AND DEFINED IN INSTRUMENT(S) RECORDED IN VOLUME 2117, PAGE 202 OF THE DEED RECORDS OF GALVESTON COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT TRACT)

10 g. A RIGHT-OF-WAY AND EASEMENT TO LAY, CONSTRUCT, MAINTAIN, OPERATE, INSPECT, PROTECT, REPAIR, ALTER, REPLACE, CHANGE THE SIZE OF, SUBSTITUTE AND REMOVE PIPELINES WITH APPURTENANT FACILITIES, LOCATION DESCRIBED THEREIN, GRANTED TO SOUTHERN UNION GAS COMPANY BY INSTRUMENTS RECORDED IN VOLUME 2185, PAGES 767, 769 AND 771 ALL OF THE DEED RECORDS OF GALVESTON COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT TRACT)

10 h. ITEM IS NOT OF SURVEYING NATURE

10 i. ITEM IS NOT OF SURVEYING NATURE

10 j. ITEM IS NOT OF SURVEYING NATURE

PARKING TABLE:

O REGULAR PARKING SPACES
O HANDICAPPED PARKING SPACES
=O TOTAL PARKING SPACES

LEGAL DESCRIPTION:

Lot "B", of CHAUHAN SUBDIVISION, a subdivision out of Addie L. Junemann Subdivision No. Two (2), Galveston County, Texas, according to the map or plat thereof, recorded in Plat Record 2006-A, Map Number 54, of the Map Records of Galveston County, Texas.

THE ABOVE DESCRIBED TRACT IS THE SAME AS DESCRIBED IN THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE CO., GF NO. 3711002104, EFFECTIVE OCTOBER 1, 2023

LEGEND:

(CM) - CONTROLLING MONUMENT
R.O.W. - RIGHT OF WAY
G.C.C.F. - GALVESTON COUNTY CLERK'S FILE
△ - UTILITY MARKER
PP - POWER POLE
⊠ - ELECTRIC BOX
⊕ - MANHOLE
⊗ - WATER VALVE

GENERAL NOTES:

- 1) BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM SOUTH CENTRAL ZONE 4204 PER FIELD OBSERVATIONS OF EXISTING MONUMENTATION ALONG THE SOUTHEASTERLY LINE OF THE SUBJECT PROPERTY.
- 2) NO ZONING ORDINANCE FOR ALL PROPERTIES INSIDE THE CITY OF GALVESTON.
- 3) PROPERTY HAS PHYSICAL ACCESS TO STEWART STREET & 89th STREET, BOTH DEDICATED PUBLIC RIGHT-OF-WAYS.
- 4) THE LEGAL DESCRIPTION DOES FORM A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, GORES OR OVERLAPS.
- 5) THERE WAS NO EVIDENCE OF CEMETERIES AT THE TIME OF THE SURVEY.
- 6) THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 7) THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. SEE ALSO HOUSTON-GALVESTON AREA MAJOR THOUROFARE PLAN.
- 8) NO OBSERVED EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

ADDRESS: 8819 STEWART ROAD
GALVESTON, TX 77554

BUYER: OKG, LLC
TITLE CO: CHICAGO TITLE CO.
GF NO: 3711002104
LENDER: SOVEREIGN BANK

JOB NO.230902
DATE: FEBRUARY 7, 2024
PRIME TEXAS SURVEYS
JOB NO.230928
DATE: DECEMBER 12, 2023
FIRM NO. 10133000



2417 NORTH FREEWAY
HOUSTON, TX 77009
713-864-2400
www.primetxsurveys.com

BENCHMARK: NGS AWO591
ELEV. = 14.37' (NAVD 88, 2001 ADJ.)

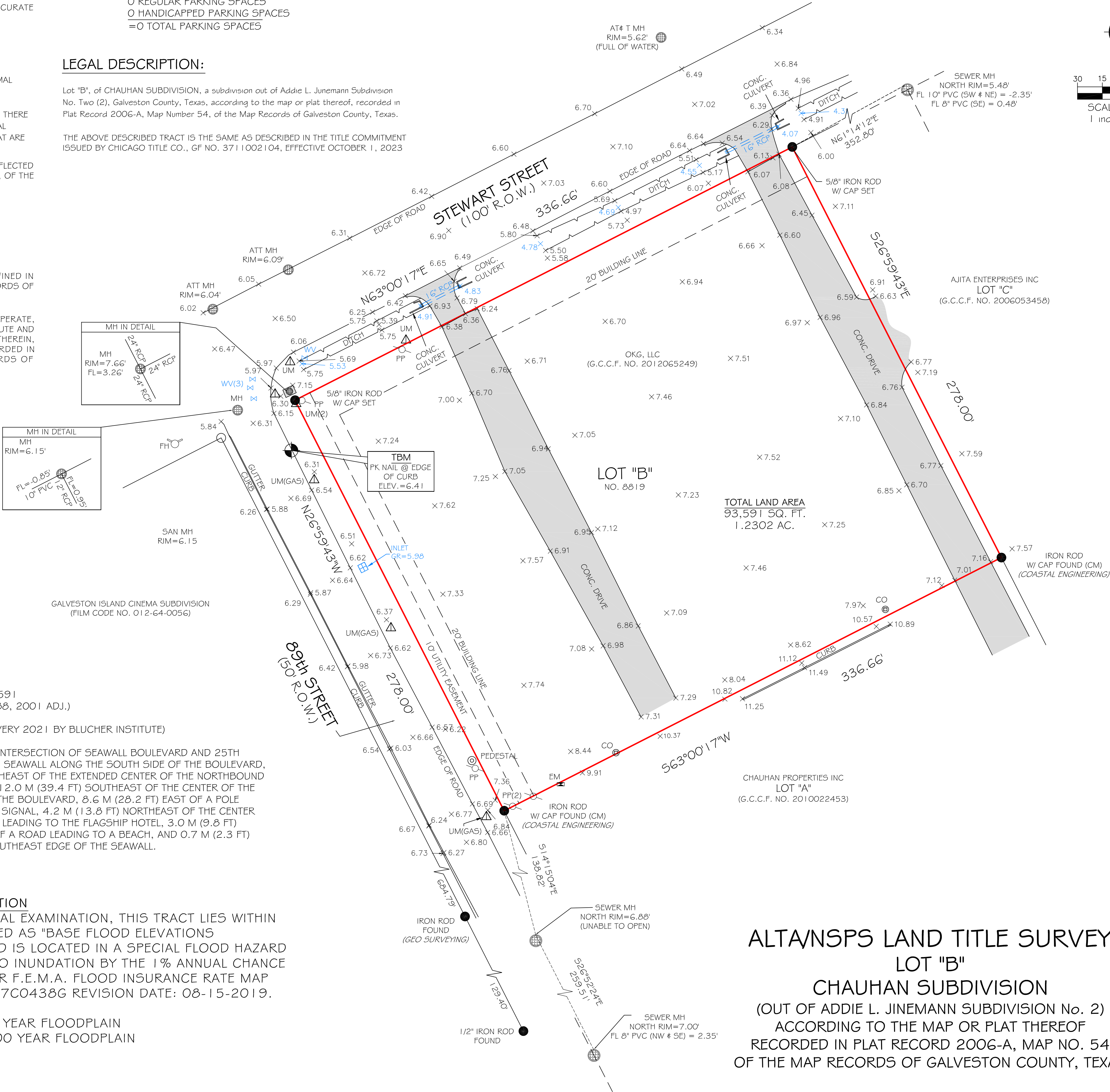
LOCATION: (LAST RECOVERY 2021 BY BLUCHER INSTITUTE)

IN GALVESTON, AT THE INTERSECTION OF SEAWALL BOULEVARD AND 25TH STREET, IN A CONCRETE SEAWALL ALONG THE SOUTH SIDE OF THE BOULEVARD, 25.0 M (82.0 FT) NORTHEAST OF THE EXTENDED CENTER OF THE NORTHBOUND LANES OF THE STREET, 12.0 M (39.4 FT) SOUTHEAST OF THE CENTER OF THE EASTBOUND LANES OF THE BOULEVARD, 8.6 M (28.2 FT) EAST OF A POLE SUPPORTING A TRAFFIC SIGNAL, 4.2 M (13.8 FT) NORTHEAST OF THE CENTER OF THE EAST DRIVEWAY LEADING TO THE FLAGSHIP HOTEL, 3.0 M (9.8 FT) WEST OF THE CENTER OF A ROAD LEADING TO A BEACH, AND 0.7 M (2.3 FT) NORTHWEST OF THE SOUTHEAST EDGE OF THE SEAWALL.

FLOOD INFORMATION

*BASED ON VISUAL EXAMINATION, THIS TRACT LIES WITHIN ZONE "AE" DEFINED AS "BASE FLOOD ELEVATIONS DETERMINED" AND IS LOCATED IN A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT PER F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NO: 48167C0438G REVISION DATE: 08-15-2019.

(100 / 1) = 100 YEAR FLOODPLAIN
(100 / 0.2) = 500 YEAR FLOODPLAIN



ALTA/NSPS LAND TITLE SURVEY
LOT "B"
CHAUHAN SUBDIVISION
(OUT OF ADDIE L. JINEMANN SUBDIVISION No. 2)
ACCORDING TO THE MAP OR PLAT THEREOF
RECORDED IN PLAT RECORD 2006-A, MAP NO. 54
OF THE MAP RECORDS OF GALVESTON COUNTY, TEXAS

SURVEYORS CERTIFICATION:

TO: CHICAGO TITLE INSURANCE
COMPANY, SOVEREIGN BANK

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA/NSPS, AND INCLUDES ITEMS 1-5, 8, 9, 11(B), 13, 14 AND 16-18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 12th, 2023

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT
JOHN D. FISHER
R.P.L.S. NO. 6153
- FOR REVIEW ONLY -



25Z-005

MEMORANDUM

TO: Lidija Bikova, Chair and Commissioners
Galveston Zoning Board of Adjustment

FROM: Daniel Lunsford, Senior Planner
Development Services Department
dlunsford@galvestontx.gov, 409-797-3659

DATE: February 13, 2025

RE: **25Z-005 (1721 Postoffice / Avenue E)** Request to appeal the City of Galveston Landmark Commission's decision regarding case 25LC-002: Request for a Certificate of Appropriateness for modifications to the structure including use of an alternative material, replacement of existing windows, and addition of covered porch to the rear façade. The property is legally described as Abstract 628 M.B. Menard Survey, Lot 2 & West 10-8.5 Feet of Lot 3, Block 437, in the City and County of Galveston, Texas.
Applicant: Robert Faickney
Property Owner: Donna Baker and Robert Faickney

CASE HISTORY:

The applicant submitted an application to the Landmark Commission for the following scope of work, which was largely completed without permit and before Landmark Commission review:

- Retain vinyl-clad replacement windows in the rear façade;
- Retain smooth Hardie siding on the rear façade ;
- Block an existing exterior door and relocate to the rear façade; and
- Build a ground-level porch on the rear of the house

At the February 3, 2025 meeting, the Staff made a recommendation for the following conditions:

Specific Conditions:

1. The exterior modifications shall conform to the design, materials and placement presented in Exhibit A of the staff report with the following modifications:
 - a. The cementitious siding be removed and replaced with wood siding to match the existing wood siding elsewhere on the house;
 - b. Replacement vinyl-clad windows added into existing openings be replaced with wood windows that closely match the original windows as closely as possible, except when those windows reflect interior changes to the floor plans;
 - c. The rear porch handrails shall be of the typical "simple, square" design;
 - d. The applicant complete all required work by August 3, 2025;



Standard Conditions:

2. Any significant alteration from the design approved by the Landmark Commission, shall require the request to be returned to the Commission for review;
3. The applicant shall obtain a building permit prior to beginning construction;
4. Any additional work will require a separate building permit from the Building Department, and may require review by the Landmark Commission and/or the City's Historic Preservation Officer prior to construction;
5. The Landmark Commission approval shall expire after two years if no progress has been made toward completion of a project unless the applicant files a request for an extension or can show progress toward completion of a project; and,
6. In accordance with Section 10.110 of the Land Development Regulations, should the applicant be aggrieved by the decision of the Landmark Commission, a letter requesting an appeal must be submitted to the Historic Preservation Officer within 20 days of the Commission decision. Additionally, a Zoning Board of Adjustment application must be submitted to the Development Services Department by the next respective deadline date.

At the February 3, 2025 meeting, the Landmark Commission approved the above conditions except for Specific Condition 1.a. This allowed the applicants to retain the cementitious siding that had been installed. See attached transcript of the hearing for 25LC-002.

APPEAL:

The applicant requests an appeal of Landmark Commission's decision regarding Specific Condition 1.b., above, requiring that the modern windows in existing window openings be replaced with historic windows.

Please reference the exhibits for the staff reports and other material presented to the Landmark Commission and the action letter sent to the applicant.

The Design Standards for Historic Properties are the set of guidelines the Landmark Commission must use to base its decisions on requests before the body. The attached staff report references sections of the Design Standards that are applicable to the subject case and includes a section on conformance with the Design Standards.

The Landmark Commission reviews the application in accordance with the following portion of Article 10, Section 10.106, of the Galveston Land Development Regulations:

Article 10, Section 10.106 (F) Decision by Landmark Commission.

The Commission shall, in an open meeting, approve, approve with conditions or deny the certificate of appropriateness. If the Commission denies an application, the Commission shall state the reasons for the denial.

1. **Consistency with Historic Design Standards for Approval:** To approve an application, the Commission must find that the proposed activity is in compliance with the *Historic Design Standards*.
2. **Approval with Conditions:** The Commission may impose conditions of approval that are necessary to meet the intent of the *Historic Design Standards*.



3. **Required Denial:** The Commission shall deny the application if it finds that the proposed work will have an adverse effect on:
- a. The external architectural features of the Galveston Landmark (GL);
 - b. The external architectural features of the properties in the block or in the historic overlay district as a whole; or
 - c. The future preservation, maintenance or use of the GL or of the properties within the Historic Overlay District.

Per Article 10.110, the applicant or any person aggrieved by a decision made by the Commission may appeal the Commission's decision to the Zoning Board of Adjustment. The applicant submitted a letter and application to the Historic Preservation Officer within twenty (20) days of the Landmark Commission decision stating intention to appeal. Please note that judicial review of the decision of the Zoning Board of Adjustment shall be in accordance with the Texas Local Government Code.

APPLICANTS JUSTIFICATION:

See attached Exhibits for applicant's narrative and justification for the appeal.

Exhibits:

- A. Staff Report for 25LC-002, including exhibits
- B. Action letter for 25LC-002
- C. Transcribed minutes
- D. Applicant's Justification for Appeal
- E. Motion Guide

Respectfully Submitted,

Handwritten signature of Daniel Lunsford in black ink.

Daniel Lunsford
Senior Planner

March 26, 2025

Date

Handwritten signature of Catherine Gorman in black ink.

Catherine Gorman, AICP
Assistant Planning Director / HPO

March 26, 2025

Date

25LC-002

STAFF REPORT

ADDRESS:

1721 Postoffice / Avenue E

LEGAL DESCRIPTION:

The property is legally described as Abstract 628 M.B. Menard Survey, Lot 2 & West 10-8.5 Feet of Lot 3, Block 437, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Robert Faickney

PROPERTY OWNERS:

Donna Baker and Robert Faickney

ZONING DISTRICT:

Residential, Single-Family, Historic District (R-3-H)

HISTORIC DISTRICT:

East End

REQUEST:

Request for a Certificate of Appropriateness for modifications to the structure including use of an alternative material, replacement of existing windows, and addition of covered porch to the rear façade

STAFF RECOMMENDATION:

Approval with conditions

EXHIBITS:

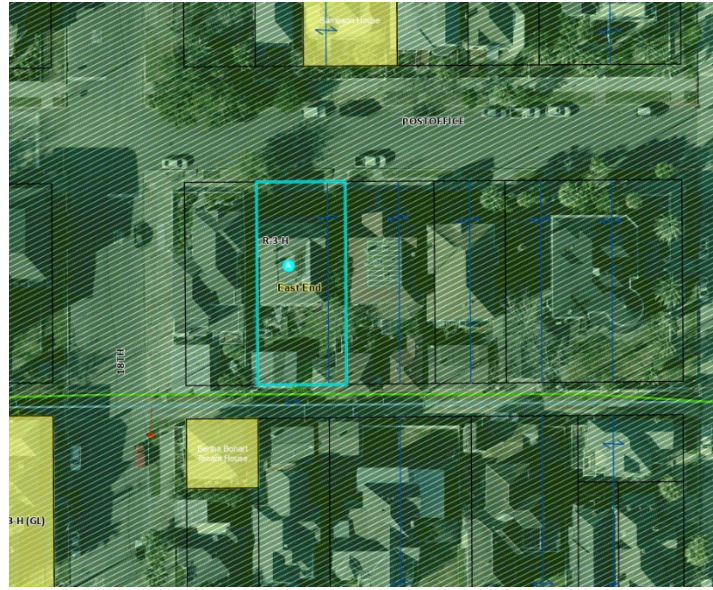
- A – Applicant's Submittal
- B – Reference Images
- C – Historic Sites Inventory Sheet

STAFF:

Daniel Lunsford
Senior Planner
409-797-3659
dlunsford@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
6				



Zoning and Land Use

Location	Zoning	Land Use
Subject Site	Residential, Single-Family, Historic District (R-3-H)	Residential
North	Residential, Single-Family, Historic District (R-3-H)	Residential
South	Residential, Single-Family, Historic District (R-3-H)	Residential
East	Residential, Single-Family, Historic District (R-3-H)	Residential
West	Residential, Single-Family, Historic District (R-3-H)	Residential

Historical and/or Architectural Significance

Date	1895
Style	Folk Victorian
Condition	Fair
Evaluation	Medium, Contributing: Contributes to the historical significance of the district through location, design, setting, materials, workmanship, feeling, and/or association
Note	Exterior wall material replaced. Roof material replaced. Window pattern altered. Porch materials replaced.

Background

In October 2024, the applicants submitted a building permit for repairs to the exterior façade. The permit was not issued; however, work was done to the exterior of the structure as described below. The applicant requests to allow the work done to remain.

Executive Summary

The applicant is requesting a Certificate of Appropriateness for alterations to the structure including:

- Replace exterior wood siding with smooth, cement siding;
- Replace existing windows in existing openings with vinyl-clad metal windows;
- Remove an existing door opening; and
- Add a covered rear porch.

Additional details are included in Exhibit A.

Design Standards for Historic Properties

The following Design Standards are applicable to this request:

Materials and Finishes

Primary historic building materials should be preserved in place whenever feasible. If the material is damaged, then limited replacement which matches the original should be considered. These materials should never be covered or subjected to harsh cleaning treatments. Preserving original building materials and limiting replacement to only pieces which are deteriorated beyond repair reduces the demand for, and environmental impacts from, the production of new materials and thus is sound sustainability policy.

Primary historic building materials found in Galveston include wood, stone, brick, metal, stucco, plaster and concrete. Such materials should be preserved and rehabilitated whenever possible.

2.1 Preserve original building materials.

Appropriate

- Repair deteriorated building materials by patching, piecing in, consolidating or otherwise reinforcing the material.
- Remove only those materials which are deteriorated, and beyond reasonable repair.

Inappropriate

- Do not remove original materials that are in good condition (the Landmark Commission requires property owners to demonstrate that existing materials cannot be reasonably repaired prior to granting approval to remove original materials).

2.2 Preserve the visibility of original historic materials .

Appropriate

- Consider removing later covering materials that have not achieved historic significance.
- Once a non-historic siding is removed, repair the original, underlying material.
- Carefully remove a later stucco finish if the process does not damage the underlying original building material.

Inappropriate

- Do not remove a later stucco covering if the process may damage the underlying original building material. Test the stucco to assure that the original material underneath will not be damaged.
- Do not cover or obscure original building materials.
- Do not add another layer of new material if a property already has a non-historic building material covering the original, as doing so would further obscure the original.

Historic Residential Windows

Windows in older Galveston buildings are important character defining features. Most windows are wooden, double-hung sash. This means that they have two balanced sashes, one sliding over the other vertically. Each sash is divided into panes, also called "lights."

Also see "Storm-Safety Features on Historic Buildings" on page 47.

3.12 When replacing a window, match the original design and pane configuration.

Appropriate

- Use wood frames and sashes for windows on a primary façade (preferred approach).
- Consider using clad wood windows on a primary façade (may be appropriate if consistent with the approach described in "Interpreting the Design Standards" on page 16).
- Maintain the wood window trim if metal or vinyl windows are installed (non primary façade only).
- Reinstall windows and doors in previously enclosed openings. City staff will field verify all evidence of the feature's previous existence prior to approval.
- Use clear replacement panes.

Inappropriate

- Vinyl windows are not permitted on primary façades
- Tinted glass is not permitted.
- Do not change the size or position of a window opening.
- The addition of large picture windows on the main façade is not permitted.
- Do not use dark window screens.
- Do not use unpainted metal sashes with a raw metal color.

Historic Residential Porches and Decks

Porches and galleries are, and always have been, the focal point of Galveston houses. They frame and protect the main entrances. They also display a concentration of decorative details. In many neighborhoods, they continue to serve as outdoor living rooms. Some very simple houses, including alley houses, have an uncovered porch or stoop at the entrance.

Most porches are built entirely of wood, in keeping with the frame house construction. There are some exceptions, such as Craftsmanstyle dwellings that have wooden tapered columns on top of masonry pedestals. A few early frame houses also have cast-iron balustrades that are original.

Preserving front porches is a high priority. Rear and side porches also may be important architectural features, especially for buildings that are located on corner lots, and their preservation is encouraged (although these may also be appropriate locations for new additions.)

Also see “Extending Porch Stairs to Access an Elevated Foundation” on page 82 for guidance on extending porch stairs to raised residential foundations.

3.14 Maintain an original porch or gallery on a house.

Appropriate

- Maintain the height and shape of the porch roof.
- Re-open an enclosed rear porch.
- Consider removing a non-historic rear access stair.

Inappropriate

- Do not enclose or screen a front porch.

3.15 If necessary, replace damaged porch elements.

Appropriate

- Use materials that are similar to the historic building materials.
- An alternative material may be considered for a porch in a secondary location, when the appearance is similar to that of the original. See “Using Alternative Materials on a Historic Structure” on page 31 for more information.

3.16 If necessary, replace damaged porch railings and steps.

Appropriate

- Use as much of the original materials and ornamentation as possible.
- Where necessary, replace original railing and step materials with alternative materials that have a similar texture and finish to the original materials.
- Re-install porch rails to match existing rails when appropriate. See the sidebar on “Administrative Approval of Porch Rail Reinstallation.”

Inappropriate

- Do not use cast-iron columns and railings where no evidence exists that they were used historically.
- Do not use brick bases for wood columns (exception is Craftsman styles).
- Do not use steel pipe columns.
- Do not use horizontal railings or railings that are too elaborate for the building (of a different style).
- Do not use concrete supports and/or steps.
- Do not relocate front stairs or steps.

Conformance with the Design Standard for Historic Properties

Staff finds that the request partially conforms to the Design Standards for Historic Properties; however, in other ways it deviates significantly from the standards.

While more flexibility may be considered in Location D: Not Typically Visible Rear Façade, the Design Standards specifically for “compatible replacement or alteration that is not visible from the street”. Staff also understands that the replacement windows and siding were added as part of an effort to stabilize and properly engineer the entire rear wall. While the rear façade is not easily visible from any right of way, the use of cement (“Hardie”) siding on a contributing structure is not considered compatible. Staff recommends removing the cement siding and replacing it with wood siding of the same dimensions and visual appearance of the existing wood siding.

Similarly, replacing existing wood windows with modern, vinyl-clad windows is not supported on contributing structures according to the Design Standards, regardless of location. Staff recommends that these windows be replaced with wood windows that match the existing windows which were removed as closely as possible. Staff also recommends approval of any door and window modifications done in order to facilitate interior design changes, such as the three clerestory windows shown in the plans and the second story door which currently opens onto empty space. New vinyl-clad windows in new openings may be considered appropriate to show changes to the house.

Finally, photos provided by the applicant show the new rear porch to be of wood construction. In addition, 1899, 1912, and 1947 Sanborn maps show that a rear porch was present on the house historically. Because of this, and because the porch is along the ground floor only, staff recommends approval of the request; however, the handrails should be of the “simple, square” design typically used for new construction as shown in Exhibit B.

Staff Recommendation

Staff recommends the request be approved with the following conditions:

Specific Conditions:

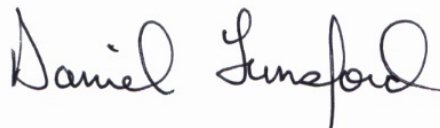
1. The exterior modifications shall conform to the design, materials and placement presented in Attachment A of the staff report with the following modifications:
 - a. The cementitious siding be removed and replaced with wood siding to match the existing wood siding elsewhere on the house;

- b. Replacement vinyl-clad windows added into existing openings be replaced with wood windows that closely match the original windows as closely as possible, except when those windows reflect interior changes to the floor plans;
- c. The rear porch handrails shall be of the typical “simple, square” design;
- d. The applicant complete all required work by August 3, 2025;

Standard Conditions:

- 2. Any significant alteration from the design approved by the Landmark Commission, shall require the request to be returned to the Commission for review;
- 3. The applicant shall obtain a building permit prior to beginning construction;
- 4. Any additional work will require a separate building permit from the Building Department, and may require review by the Landmark Commission and/or the City’s Historic Preservation Officer prior to construction;
- 5. The Landmark Commission approval shall expire after two years if no progress has been made toward completion of a project unless the applicant files a request for an extension or can show progress toward completion of a project; and,
- 6. In accordance with Section 10.110 of the Land Development Regulations, should the applicant be aggrieved by the decision of the Landmark Commission, a letter requesting an appeal must be submitted to the Historic Preservation Officer within 20 days of the Commission decision. Additionally, a Zoning Board of Adjustment application must be submitted to the Development Services Department by the next respective deadline date.

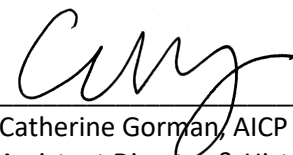
Respectfully Submitted,



Daniel Lunsford
Senior Planner

January 28, 2025

Date



Catherine Gorman, AICP
Assistant Director & Historic Preservation Officer

January 28, 2025

Date

EXHIBIT A

Approval of Variance for "D" side of 1721 Postoffice

We were always told that you can't change anything that can not be seen from the street.

We though we could use hardy & vinyl windows on the back or alley facing the "D" side of the structure of the home.

When we received the hardy siding we sent the wood grain hardy back to McCoys & got smooth sided hardy. In fact we ordered smooth sided hardy' to begin with on our order.

We were trying to decide if old windows could be rebuilt when we realized the "entire" back wall of the home was bowed 5 inches and damaged from water from multiple storms & damaged from termites. It had to be completely rebuilt. We had an engineer include all the strapping needed to secured the back wall. We started that repair and needed the windows so we bought them at McCoys locally. We will use plywood for protection shutters during storms.

The wall and windows looked too plain when completed plus Gulf winds begged for a back porch.

The construction of the covered porch greatly improved the historical appearance of the back elevation.

I watched Hurricane Beret come into the southwest part of the home and knew the strength and durability of the 5/8 Plywood and Hardy would be the best bet for the structural integrity of this home.

Backwall & Porch

Replaced with 2x4 on 16" centers

Straps from beam to plate up

2x4 studs

(see pictures)

Covered with 5/8" CDX
(nailed according to specs)

Tyvek covered entire wall and
taped with tyvek tape

Windows with tyvek around fins
and taped.

Porch 4 6x6 on Deck (planted 48" deep)
2 6x6 on stairs

Top post w 2-5/8" x 12 carriage bolts
2-2x12 around porch
through each 2x12

2.5(metal clips) on each joist/rafter

150/160 Single Hung Window

Features:

- Beautiful, true brick mould exterior frame perimeter
- Bottom sash tilts in for easy cleaning
- DP Rating R50 (window size tested 36 x 74)
- Integrated J-channel (Series 160 available without J-channel)
- Pre-punched nail fin makes installation simple
- Insulated glass panels with optimum thermal air space featuring warm-edge spacer system
- Block & tackle balance system
- Half screen comes standard
- Charcoal fiberglass mesh screen
- Jamb depth: 3.277"
- Limited lifetime warranty

Custom Options:

- Low-E Glass
- Low-E Glass + Argon Gas
- Ultra Low-E Glass + Argon Gas
- 5/8" or 3/4" flat, 5/8" or 1" contoured, 1 1/8" simulated divided lite (SDL), 5/8" contoured valance grids available
- Factory mulling of twins, triples and architectural shapes
- Paintable or stainable wood jamb extensions (4 9/16" and 6 9/16")
- Charcoal aluminum mesh screen
- Window Opening Control Device (for fall prevention)
- Nine Exterior Painted Colors (white interior only)
- Custom sizes available

Product Performance:

AAMA 101 Results:

Window Size	AAMA Rating (psf)	Air (cfm/ft ²)	Water (psf)
36" x 74" (SH/DW)	HR-50	0.27	7.50
48" x 96" (SH/DW)	HR-25	0.26	7.50
108" x 74" (TRHP)	HR-50	0.15	7.52
108" x 74" (TR)	HR-30	0.15	7.52
72" x 72" (PW/HR/FR/OC/SS)	FR-50	0.01	7.52

Product Dimensions:

Vinyl Wall Thickness:	0.065"
Typ. Glass Thickness:	0.750"
Jamb Depth:	3.277"
Mullion Adder:	0.500"
Nail Fin Setback:	1.5"

Rough Opening:

Window Width + 1/2"
Window Height + 1/2"

Size Restrictions:

	Min:	Max:
Width	16 7/8"	51 3/4"
Height	23 1/2"	89 3/4"
(Max. United Inches 132")		



150/160 Single Hung Window

Egress Formulas:

Egress Width $\geq 20"$ and Egress Height $\geq 24"$ and Egress Area $\geq 5.7 \text{ ft}^2$ required to meet egress.

Egress Width Formula = Window Width - 4.8125"

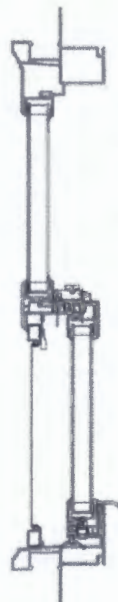
Egress Height Formula = (Window Height/2) - 3.5625"

Egress Area Formula = (Egress Width x Egress Height)/144

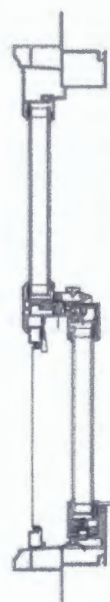
Screen Formulas:

Window Width - 3.8125"

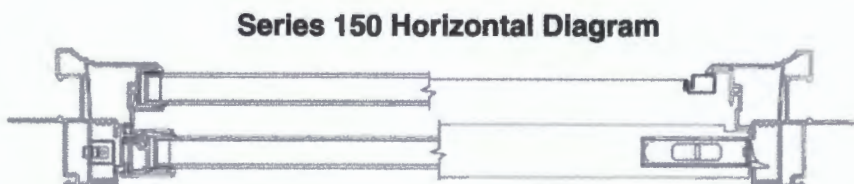
(Window Height/2) - 1.25"



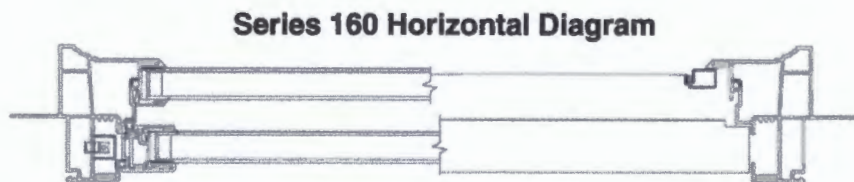
**Series
150
Vertical
Diagram**



**Series
160
Vertical
Diagram**

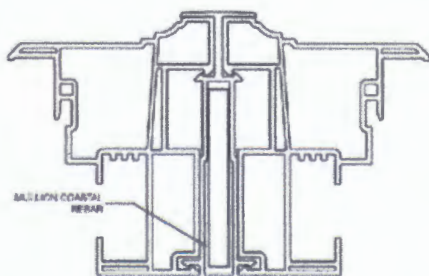


Series 150 Horizontal Diagram

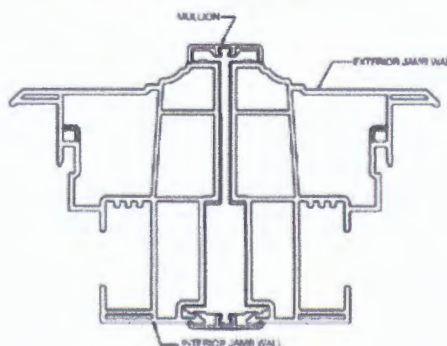


Series 160 Horizontal Diagram

Series 150 Mullion Assembly:



Series 160 Mullion Assembly:



150/160 Single Hung Window

Features:

- Beautiful, true brick mould exterior frame perimeter
- Bottom sash tilts in for easy cleaning
- DP Rating R50 (window size tested 36 x 74)
- Integrated J-channel (Series 160 available without J-channel)
- Pre-punched nail fin makes installation simple
- Insulated glass panels with optimum thermal air space featuring warm-edge spacer system
- Block & tackle balance system
- Half screen comes standard
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- Jamb depth: 3.277"
- Limited lifetime warranty

Custom Options:

- Low-E Glass
- Low-E Glass + Argon Gas
- Ultra Low-E Glass + Argon Gas
- 5/8" or 3/4" flat, 5/8" or 1" contoured, 1 1/8" simulated divided lite (SDL), 5/8" contoured valance grids available
- Factory mulling of twins, triples and architectural shapes
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Window Width + 1/2"
Window Height + 1/2"

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	Min:	Max:
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(Max. United Inches 132")		



150/160 Single Hung Window

Egress Formulas:

Egress Width $\geq 20"$ and Egress Height $\geq 24"$ and Egress Area $\geq 5.7 \text{ ft}^2$ required to meet egress.

Egress Width Formula = Window Width - 4.8125"

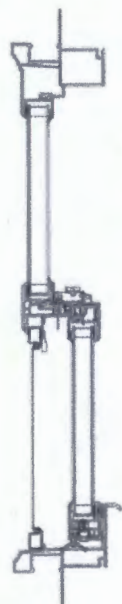
Egress Height Formula = (Window Height/2) - 3.5625"

Egress Area Formula = (Egress Width x Egress Height)/144

Screen Formulas:

Window Width - 3.8125"

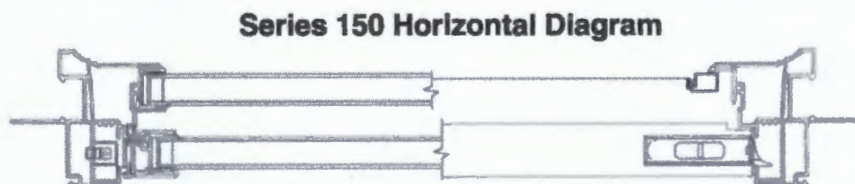
(Window Height/2) - 1.25"



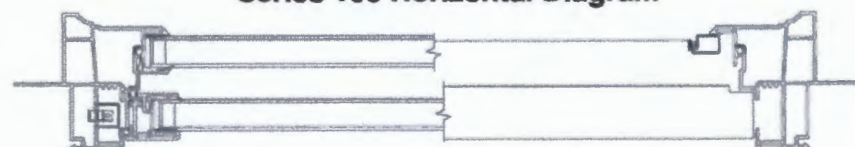
**Series
150
Vertical
Diagram**



**Series
160
Vertical
Diagram**

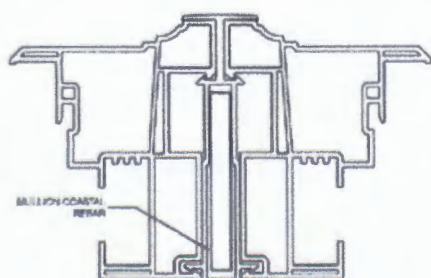


Series 150 Horizontal Diagram

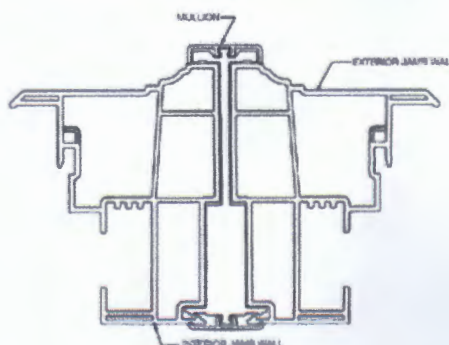


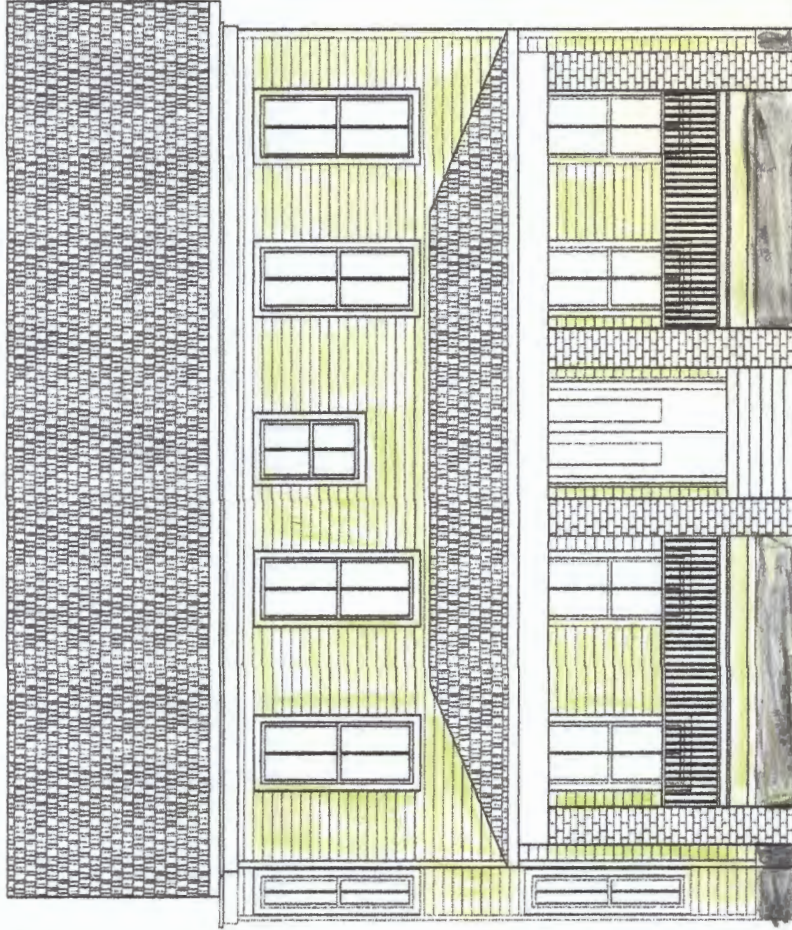
Series 160 Horizontal Diagram

Series 150 Mullion Assembly:



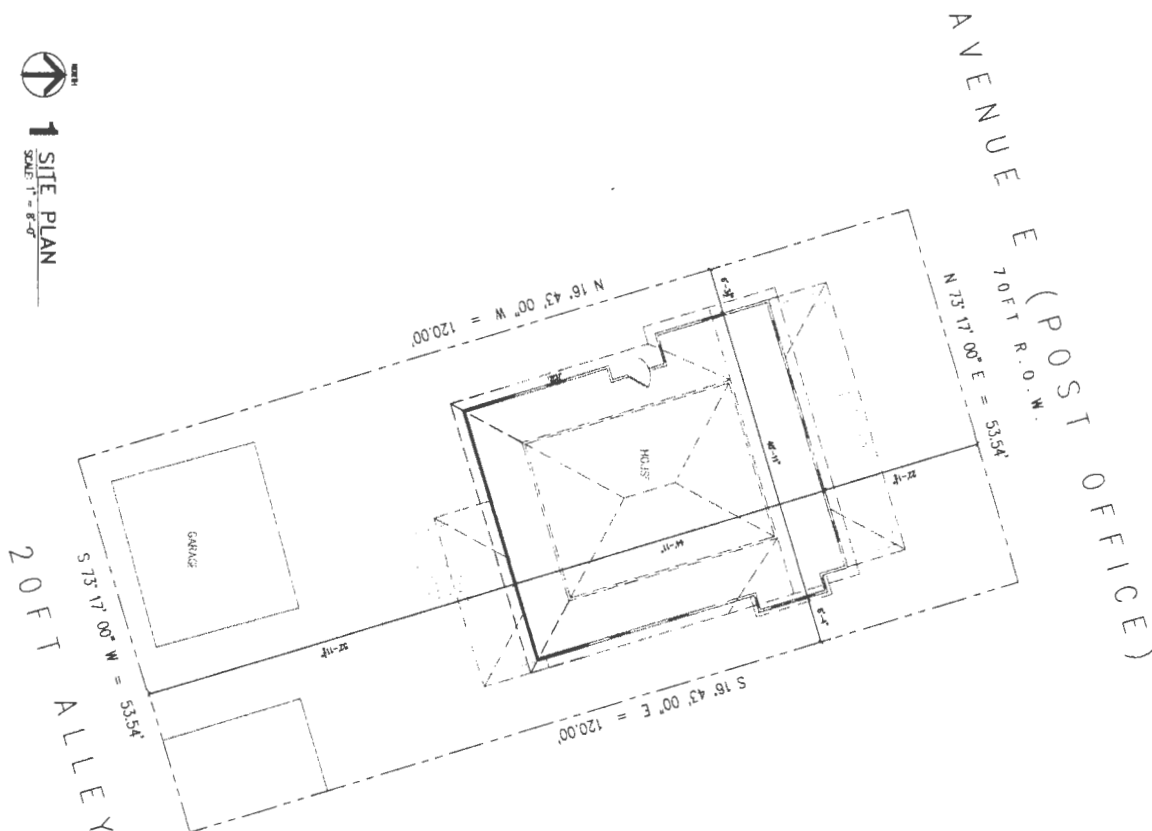
Series 160 Mullion Assembly:





A Renovation for Robert - Donna Faickney

1721 Post Office
Galveston, Texas



LEGAL DESCRIPTION:
LOT TWO (2) AND THE WEST 1/4 OF LOT THREE (3), IN BLOCK FOUR
HARDING BRIDGE SUBD. IN THE CITY OF OAKSTON,
OAKSTON CALIF. EXACT

SQUART FOOTAGE

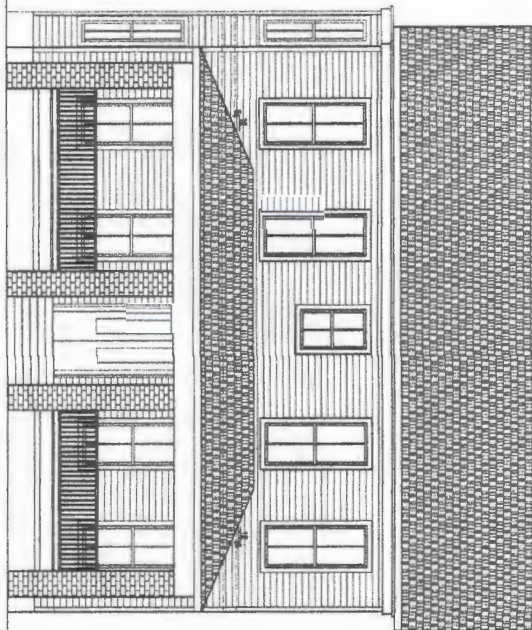
(L)N1 1
KING HOLE - 149 SQ FT
NEW AERATOR - 251 SQ FT
DRAIN FRESH POND - 288 SQ FT
NEW REAR DITCH - 798 SQ FT

(L)N1 2
KING HOLE - 1388 SQ
NEW AERATOR - 271 SQ FT

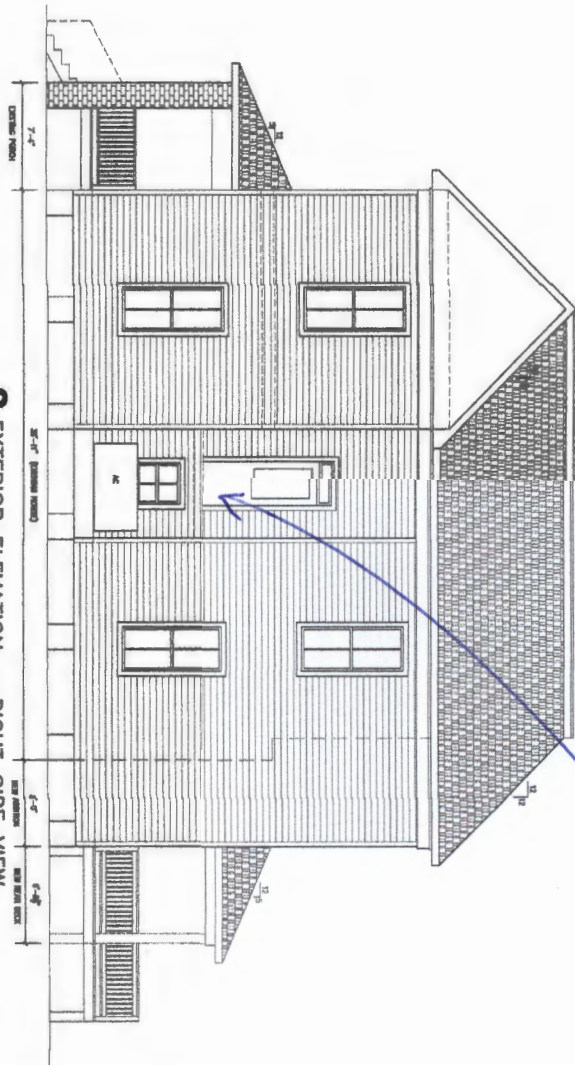
[illegible]

A Renovation for Robert - Donna Faickney
1721 Post Office, Galveston, Texas

CZQ Drafting Services, Inc.
8715 POWER ROAD
SANTA FE, TEXAS
409-927-4054



1 EXTERIOR ELEVATION - FRONT VIEW
SCALE: 1/8" = 1'-0"



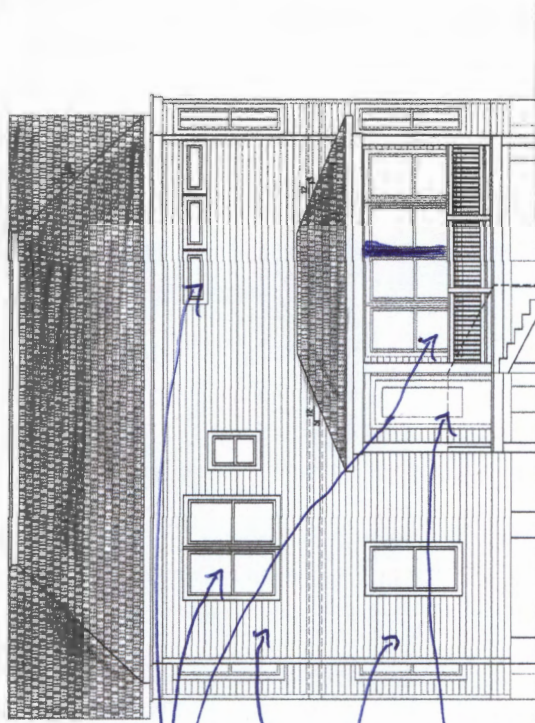
2 EXTERIOR ELEVATION - RIGHT SIDE VIEW
SCALE: 1/8" = 1'-0"

Door Removed

A Renovation for Robert - Donna Faickney
1721 Post Office, Galveston, Texas

CRQ Drafting Services, Inc.
8715 POWER ROAD
SANTA FE, TEXAS
409-927-4054

A1.0

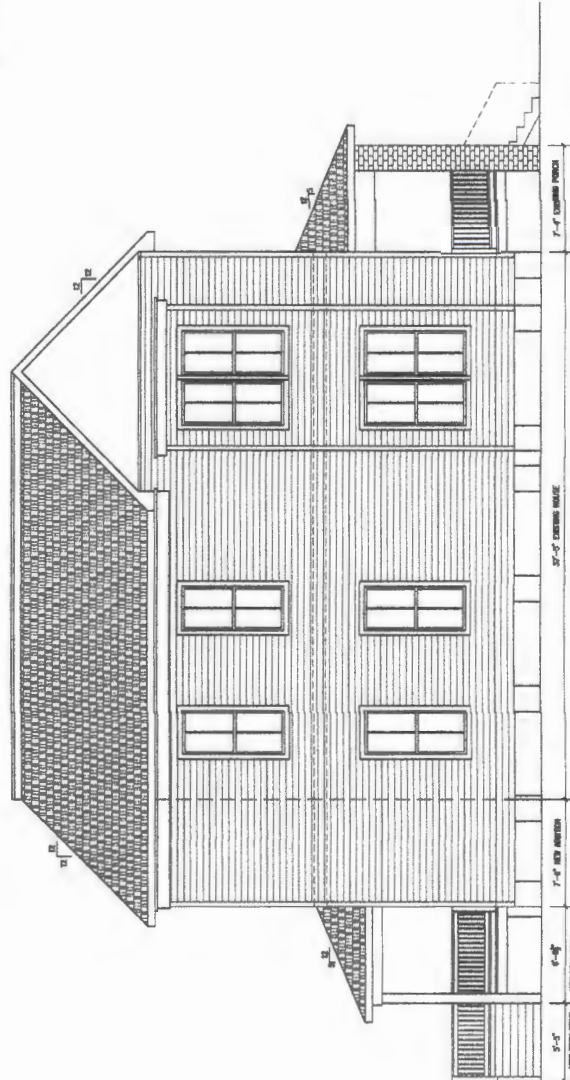


Replaced with
Atrium Windows

Replaced with
Hardy Plank

Replace with 5/8
glass door from
original house

3 EXTERIOR ELEVATION - REAR VIEW
 SCALE: 1/4" = 1'-0"

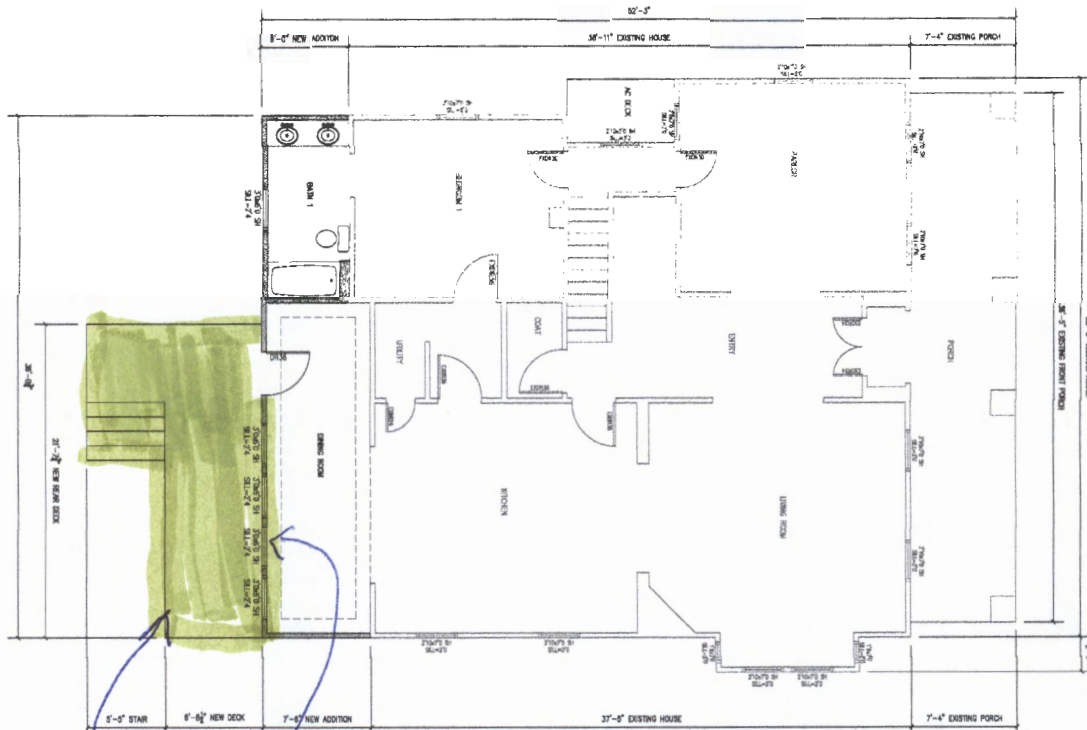


4 EXTERIOR ELEVATION - LEFT SIDE VIEW
 SCALE: 1/4" = 1'-0"

C2g drafting@aol.com

1 FLOOR PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"



Added Porch AND Porch Roof
 Replaced rotted back wall with new wall + windows

SQUARE FOOTAGE	
LEVEL 1	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 2	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 3	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 4	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 5	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 6	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 7	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 8	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 9	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 10	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 11	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 12	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 13	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 14	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 15	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 16	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 17	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 18	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 19	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 20	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 21	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 22	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 23	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 24	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 25	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 26	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 27	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 28	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 29	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 30	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 31	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 32	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 33	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 34	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 35	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 36	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 37	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 38	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 39	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 40	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 41	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 42	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 43	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 44	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 45	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 46	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 47	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 48	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 49	EXISTING HOUSE - 1,418 SQ. FT.
LEVEL 50	EXISTING HOUSE - 1,418 SQ. FT.

A Renovation for Robert - Donna Faickney
 1721 Post Office, Galveston, Texas

C2Q Drafting Services, Inc.
 8715 POWER ROAD
 SANTA FE, TEXAS
 409-97-4054

12.0

C2A Drafting Services, Inc.
 8715 POWER ROAD
 SANTA FE, TEXAS
 409-927-4054

A Renovation for Robert - Donna Faickney 1721 Post Office, Galveston, Texas

DATE: 11 FEBRUARY 2004

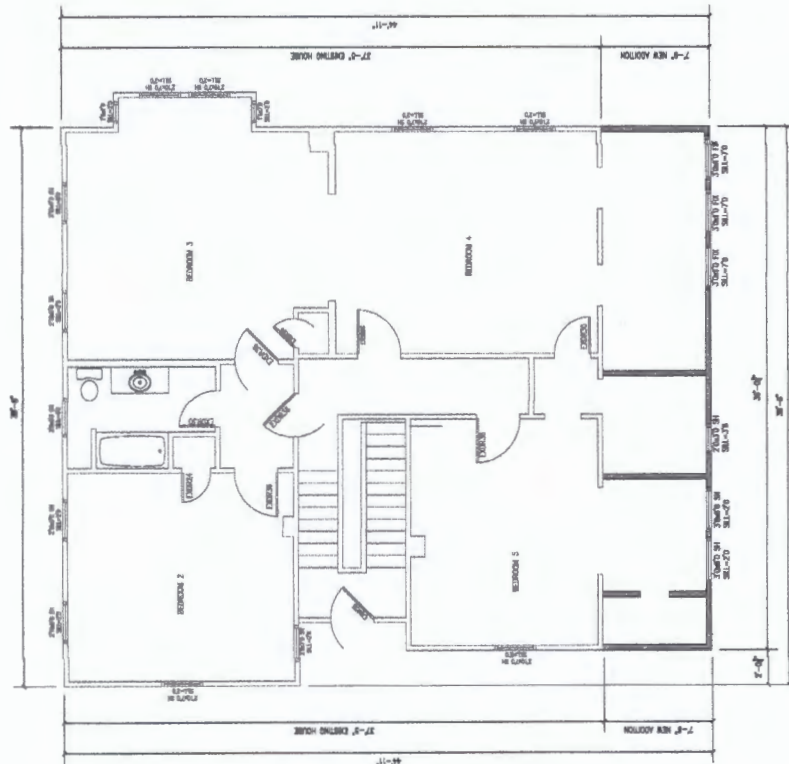
BY: JRM/2004

SHEET NO.

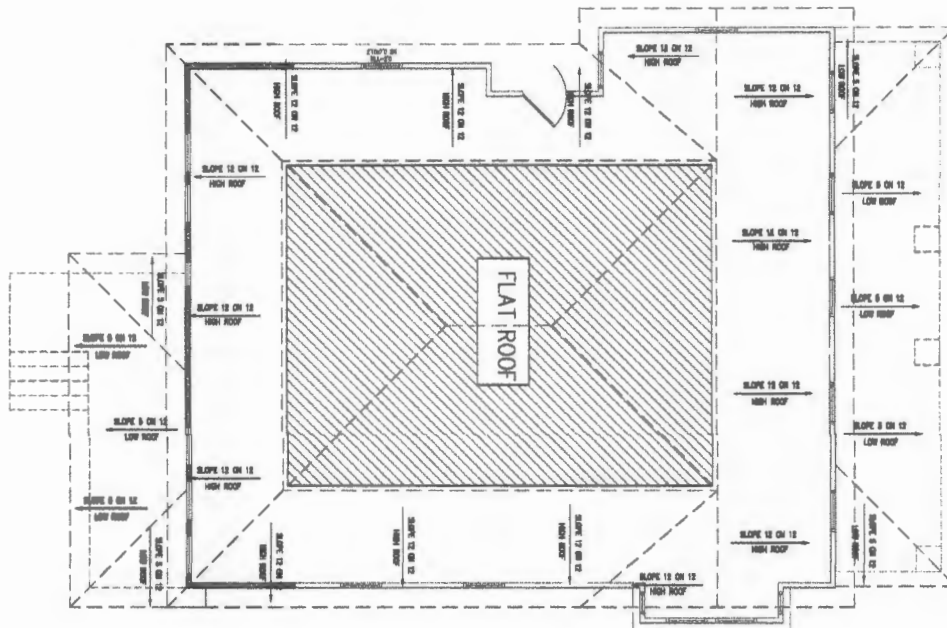
A2.1

SQUARE FOOTAGE

LEVEL 1
 EXISTING HOUSE = 1408 SQFT
 EXISTING FRONT PORCH = 280 SQFT
 NEW FRONT PORCH = 148 SQFT
LEVEL 2
 EXISTING HOUSE = 1308 SQFT
 NEW ADDITION = 371 SQFT



2 FLOOR PLAN - LEVEL 2
 SCALE: 1/8" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

A3.0

A Renovation for Robert- Donna Faickney
1721 Post Office, Silverston, Texas

CDQ Drafting Services, Inc.
8715 POWER ROAD
SANTA FE, TEXAS
409-827-4054



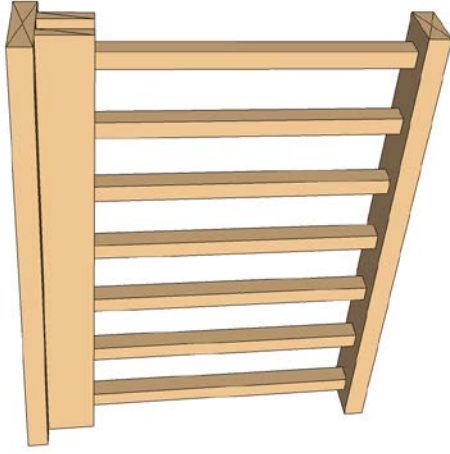








DEVELOPMENT SERVICES
3015 Market | Galveston, TX 77550
planning@galvestontx.gov | 409-797-3660



Oblique
View

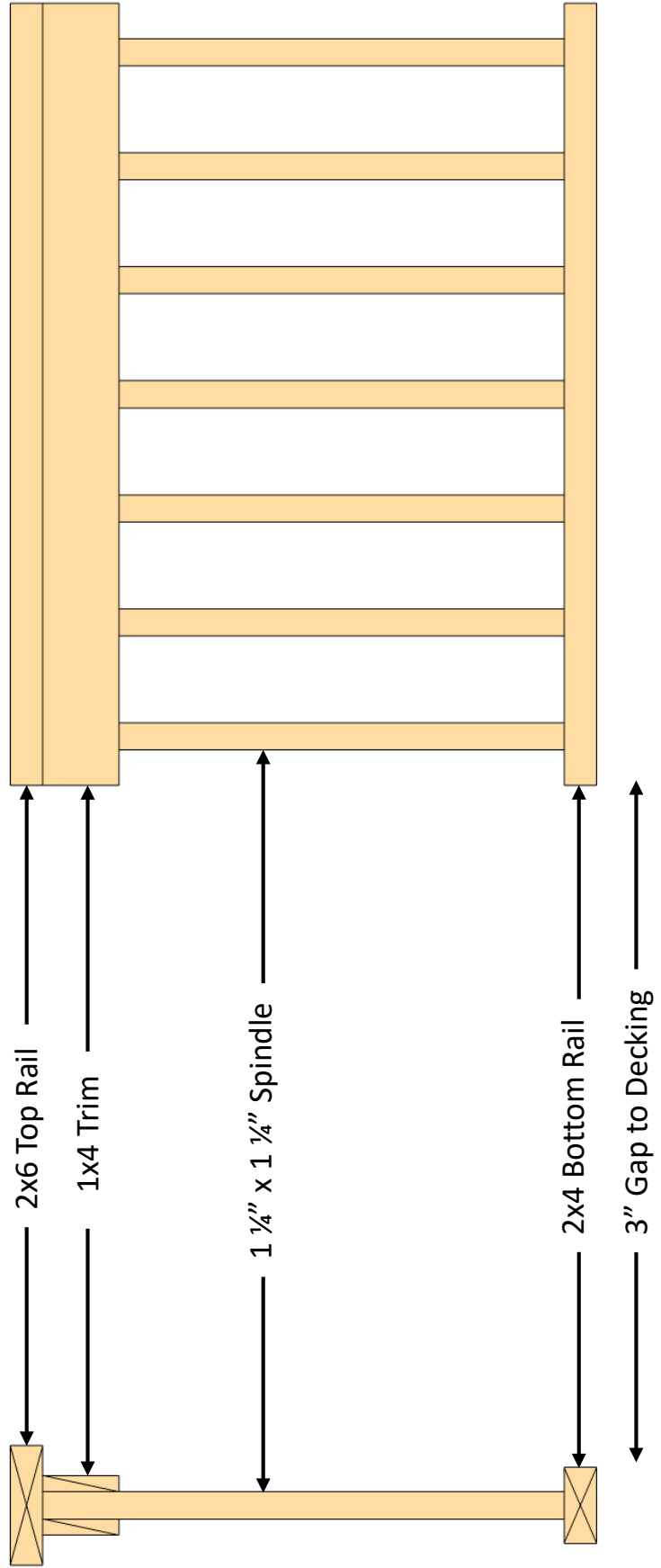


EXHIBIT B

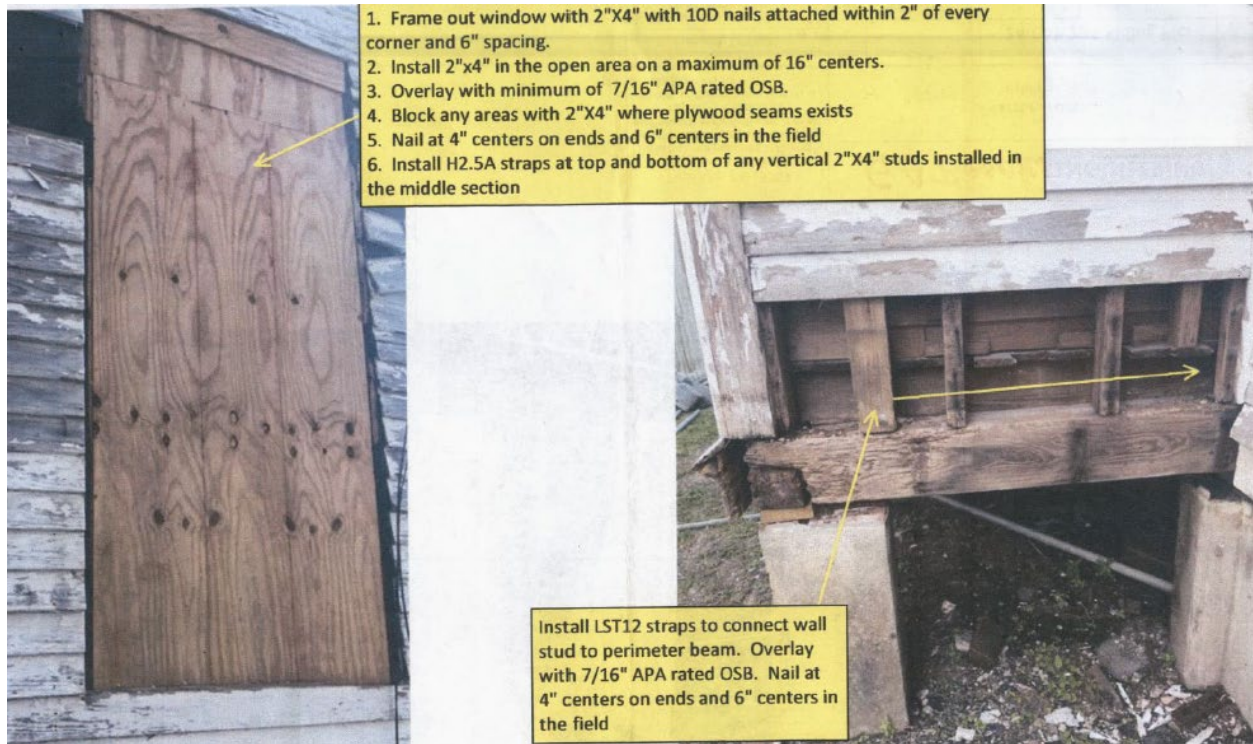
Typical Handrail – Historic Districts



South (Rear) Before Work



South (Rear) Before Work



South (Rear) Before Work

1721 POSTOFFICE, GALVESTON, TX 77550

High = Individually Eligible/Listed; Contributing
Medium = Contributing
Low = Non-Contributing

HHM-12275

Parcel ID 690507

Year Built ca. 1895

District East End Historic District

Priority Rating Medium

Building Faces N

DESCRIPTION

Type Single-Family House
Massed Plan

Stylistic Influences Folk Victorian

Stories 2

Exterior Wall Materials Horizontal wood board,
Wood shingles

Foundation Type Raised basement, Pier-
and-beam

Landscape Features Concrete curb

ROOF

Roof Shape Cross-gabled

Roof Materials Asphalt composition
shingles

Roof Features Flared eaves, Box eaves,
Frieze

Gable End Treatment Wood siding

Gable End Openings Enclosed opening

Gable End Features Vent, Decorative gable
truss

WINDOWS & DOORS

Window Types Double-hung

Window Frame Materials Wood

Window Light Configuration 2/2

Window Features Metal storm blinds

Door Materials Wood

Door Types Double door primary
entrance

Door Features Transom light

CHIMNEYS

PORCH

Porch Type Full width, One story

Porch Location Front

Porch Roof Shed

No. of Porch Bays 3

Porch Support Brick piers

INTEGRITY

Condition Fair

Alterations Exterior wall material
replaced, Roof material
replaced, Window pattern
altered, Porch materials
replaced



TX_GalvestonCounty_1721_Postoffice_1.jpg



City of Galveston

DEVELOPMENT SERVICES
3015 Market / Ave D | Galveston, TX 77550
planning@galvestontx.gov | 409-797-3660

March 13, 2025

Robert Faickney
1717 Avenue E
Galveston, TX 77550

Re: **25LC-019 (1721 Postoffice / Avenue E)** Request for a Certificate of Appropriateness for modifications to the structure including use of an alternative material, replacement of existing windows, and addition of covered porch to the rear façade. The property is legally described as Abstract 628 M.B. Menard Survey, Lot 2 & West 10-8.5 Feet of Lot 3, Block 437, in the City and County of Galveston, Texas.
Applicant: Robert Faickney
Property Owners: Donna Baker and Robert Faickney

Greetings,

The Galveston Landmark Commission, at their meeting on Monday, February 3, 2025, voted to approve the above-referenced request with the following conditions:

Specific Conditions:

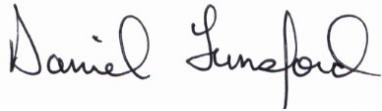
1. The exterior modifications shall conform to the design, materials and placement presented in Attachment A of the staff report with the following modifications:
 - a. ~~The cementitious siding be removed and replaced with wood siding to match the existing wood siding elsewhere on the house;~~
 - b. Replacement vinyl-clad windows added into existing openings be replaced with wood windows that closely match the original windows as closely as possible, except when those windows reflect interior changes to the floor plans;
 - c. Relocate the existing side door to rear of house and close off the side door opening;
 - d. The rear porch handrails shall be of the typical "simple, square" design;
 - e. The applicant complete all required work by August 3, 2025;

Standard Conditions:

2. Any significant alteration from the design approved by the Landmark Commission, shall require the request to be returned to the Commission for review;
3. The applicant shall obtain a building permit prior to beginning construction;
4. Any additional work will require a separate building permit from the Building Department, and may require review by the Landmark Commission and/or the City's Historic Preservation Officer prior to construction;
5. The Landmark Commission approval shall expire after two years if no progress has been made toward completion of a project unless the applicant files a request for an extension or can show progress toward completion of a project; and,
6. In accordance with Section 10.110 of the Land Development Regulations, should the applicant be aggrieved by the decision of the Landmark Commission, a letter requesting an appeal must be submitted to the Historic Preservation Officer within 20 days of the Commission decision. Additionally, a Zoning Board of Adjustment application must be submitted to the Development Services Department by the next respective deadline date.

Please keep a copy of this letter for your records, and feel free to contact me at DLunsford@GalvestonTX.Gov if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Daniel Lunsford". The signature is written in a cursive style with a large, stylized 'D' and 'L'.

Daniel Lunsford
Senior Planner
Development Services Department

EXHIBIT C

Transcript of Landmark Commission case 25LC-002, February 3, 2025.

[BEGIN]

Sarah Moore Click: All right. Moving on to our next business item, we have a request for a certificate of appropriateness for case 25LC-002 1721 Postoffice.

Daniel Lunsford: All right, so...

Donna Fairweather: Sorry, Daniel. For the record Commissioner Bourgeois has returned.

[00:10:02]

Daniel Lunsford: All right. So yes, this is 1721 Post Office. This is another Certificate of Appropriateness for modifications to the structure, including use of alternative material, replacement of existing windows, and addition of covered, uh, porch to the rear facade.

There were six public notices sent, two returned, two of those in favor.

Let's see - background, in October 2024, the applicant submitted a building permit for repairs to the exterior structure. The permit was not issued; however, work was done to the exterior of the structure as described below previous to that, and the applicant is requesting to allow the work done to remain.

The applicant is requesting a Certificate of Appropriateness for alterations to the structure, including replace exterior wood siding with smooth cement siding, replace existing windows and existing openings with vinyl clad metal windows, remove an existing door opening and add a covered rear porch, and the applicant has provided a good amount of additional information in Exhibit A of the staff report. Please note the Design Standards For Historic Properties that may be appropriate.

Staff finds the request partially conforms to Design Standards, but in other ways it does not.

While more flexibility may be considered in Location D: Not Typically Visible Rear Facade, the Design Standards still specify that compatible replacement materials be used, even if not visible from the street. Staff also understands the replacement windows and siding were added as part of an effort to stabilize the improperly engineered entire rear wall. While the rear facade is not easily visible from the right of way, the use of Hardie siding on a Contributing structure is not considered compatible. Staff recommends removing the cement siding, replacing it with wood siding of the same dimensions, and visual appearance of existing wood siding on the house.

Similarly, replacing existing wood windows with modern vinyl clad windows is not supported on Contributing structures according to the Design Standards, regardless of location. Staff recommends that these windows be replaced with wood windows that match the windows that were previously removed as closely as possible. Photos indicate they are possibly two over twos.

Staff also recommends approval of any door or window modifications done in order... so staff recommends approval of any door or window modifications done in order to facilitate interior design changes. For example, the three clerestory windows shown in the plans and the second story door which currently opens onto empty space. New vinyl clad windows and new openings may be considered in these situations to show changes to the house.

Finally, photos provided by the applicant show the new rear porch should be of wood construction. In addition, the historic Sanborn maps show the rear porch was present on the house historically. Because of this, and because the porch is at ground level only, staff recommends approval of that request. However, the handrail should be the simple square design typically used for new construction, as shown in our staff report.

So, staff recommends the request be approved with the following conditions: specific condition 1 a. the exterior modification shall conform to the design, materials and placement presented in attachment or Exhibit A, I'm sorry, the staff report with the following modifications:

- a. the cement siding on the rear facade be removed and replaced with wood siding to match the existing siding elsewhere on the house.
- b. replacement vinyl clad windows added to existing openings be replaced with wood windows that closely match the ones that were removed, except where those windows reflect interior changes to the floor plans.
- c. the rear porch handrail should be typical simple square design.
- d. the applicant shall complete all required work by August 3rd, 2025, which would be six months from today's date.
- plus standard conditions two through six

And we have some photos.

So here we have the subject property as seen by the street. Just to give you a general appearance of the house. And you know, the work that has been done to renovate it and restore it.

Next slide please. Here we have an excerpt from the applicant submittal showing the door to nowhere that they would like to remove and block off.

Next slide please. Here we have the photo of the rear of the house as it sits now with the new porch that was added. The clerestory windows that were added. The applicant's notes showing what has been changed to this point in the upper left hand corner.

And then we have a photo of the existing walls to kind of show some of the remediation that was required from the engineering drawings.

Next slide please. Once again, more photos from the plans that show, you know, the work that was done to stabilize and replace the rear wall.

Next slide please. Here we have the properties to the north, to the east and to the west. And this concludes staff's report.

Sarah Moore Click: Thank you Daniel. We need to make a note that Councilperson Lewis has joined us. Does anybody have any questions for staff? I have one. They applied for a permit and it wasn't issued?

Daniel Lunsford: I believe they applied for a permit after the work was started. And then during the permit review process, we discovered that some things were not in conformance with the Design Standards.

Sarah Moore Click: Okay. Thank you. Any other commissioners have any questions?

Go ahead.

Hank Thierry: Who wrote the handwritten note? This handwritten piece approval of variance for D side [inaudible].

Sarah Moore Click: Probably the applicant.

Hank Thierry: Okay. Okay. It's not signed.

Daniel Lunsford: I'm sorry. What was that?

Hank Thierry: I was curious who wrote this. The applicant?

Daniel Lunsford: Oh, yes. That that all the that that handwritten stuff is the applicant's. Yes.

Sarah Moore Click: Any other questions? No. Okay. We will open up the case public hearing for the case 25lc-002 1721 Postoffice. Is there anyone here that would like to speak on the project? If you could just state your name and sign in on the sheet, please.

Robert Faickney: I'm Robert Faickney. I live next door at 1717 PostOffice, and we bought the this house in April and it was had declined very far down to it had a lot of Fire Marshals you know, warnings about it. And there were 4 or 5 families living in there. And although we knew we didn't have any particular trouble with any of them, I could see where it could really get out of hand the way it was going. And people were scared to walk by the house even.

We've had people say that the door was up front door was always open and there were no lights on. And, you know, or very few lights. And so anyway, we bought it and we you know, went down, got all the building permits we thought we got, you know, the foundation, plumbing, electrical, you know, air conditioner, everything. And then we go to get the final inspection, and evidently we didn't have the building inspection. And I guess that's what you have to get to go by this committee.

Sarah Moore Click: Is the building just the building permit?

Robert Faickney: The building permit.

Sarah Moore Click: If it doesn't fall within the Standards, then yes. You would come and find us.

Robert Faickney: Yeah. So anyway, so then we we went at the back wall. We couldn't salvage the wood windows, and the more they started tearing out, the more it was bowed out 5 or 6 inches and all rotted. So, we basically had to replace the whole back wall and 5/8 CDX and you know, all the, the tie back and all nailed to the right patterns and everything.

I've had to engineer you know, you can see his drawings here, and he puts in all the straps, tells us where to put straps. Anyway, we do all this, but then we can't get our approvals, you know, to move on inside. And so we come here and, you know, of course, you can see we've already done all the Hardie plank, the windows, and the and the and the porch because, you know, we've always heard on the back side you can do basically what you, what you want to do on the, on the back side, but the front and the sides all have to stay you know, in accordance with all the historical parts of the house.

And so that's where we are right now. We're kind of hung out, you know, trying to get that backside approved so we can move on with the, with the project. And, and we want to, you know, abide by all these standards as far as historical. I mean, that's why we live in the historical area because we like it.

And so this is my wife, Donna Baker. She can probably talk a little better than I can about it.

Donna Baker: I mean, you covered it pretty well. we were basically trying to save the house because it had fallen into such disrepair.

The back cottage is also attached to our back cottage with a firewall in between. And it is just, you know, literally falling apart. We haven't even gotten to that yet. So we've done electrical and plumbing and roofing and foundation and AC inside. And then we we were hitting a wall here to stop. So anyway, that's all I have to say.

Sarah Moore Click: Okay. Any commissioners have any questions for the applicant?

Jonathan Chastain: Looking looking at this drawing on the top left, it does look different. I guess that's the new design looking at the picture of before any work was done, there is a picture on, doesn't have a page number on it, but was there a decision on removing I guess they were all so rotten that you just kind of added what windows you kind of wanted and the and the placement of them?

Robert Faickney: Well, the windows that we put in, that's what you're asking about?

Jonathan Chastain: Yeah. because I see at least on the second floor, there's like three windows on the west side and three windows on the right side. And then on the bottom there was four windows, which you did, but then two windows to the left of the door.

Robert Faickney: All of those are new [Indistinct]

Sarah Moore Click: And this new door opening?

Robert Faickney: Well, yes. And we we're planning on putting that stained glass door that we want to remove on the upstairs [Indistinct].

Sharon Stetzel-Thompson: The original windows were two over twos, and now they're one by over ones.

Sarah Moore Click: Where you removed the door on the side. Did you just replace that with siding?

Robert Faickney: Yes.

Sarah Moore Click: You just filled it in? Just that one spot or the whole side of the house?

Donna Baker: We didn't replace with siding. We put a stained glass. Is that what you're talking about?

Robert Faickney: Yes. And part of that opening, we put a stained glass.

Sarah Moore Click: Okay. Okay. Any other questions for the applicants? No. Okay.

Thank you guys. Is there anyone else here that would like to speak on this item? No. Okay, we'll close the public hearing for case 25LC-002 and ask for a motion from the commission.

Lynn Langdale: Ask a question first of you guys. Daniel, so currently it has Hardie plank and vinyl windows. And our recommendation is they replace it with wood and wood windows. Is that correct?

Daniel Lunsford: That's correct. In those places where there were original openings and staff is not 100% certain which ones those were. Karina, could you go to the next slide, please? So you can see here that's a photo of the rear rear facades. You can see that array of four windows behind the porch appears to be original. But there are obviously openings such as those clerestory windows that were probably added to facilitate changes to the interior of the house for, like, a bathroom or something, most likely. So staff is recommending keeping the vinyl or the vinyl clad metal windows in those locations where new openings were added, because that can help differentiate old from new. But we are also recommending that the Hardie siding be removed from the entire rear façade and replaced with appropriate wood.

Lynn Langdale: Okay. Thank you.

Jonathan Chastain: And it looks like that door that was removed on the side, it did have stairs that went up to it. Oh, Okay. That's just what. and no, go to the go to that picture. Okay.

Donna Fairweather: Were there any violation notices? This I'm assuming this was a vacant property?

Daniel Lunsford: I'm not entirely, entirely sure what the what the status was before it was purchased by the applicants. It may have been. I'm not sure. I am not aware.

[Indistinct]

Daniel Lunsford: I believe a stop work order was issued, but that's all I can recall off hand.

Sarah Moore Click: No? Okay, we're still waiting for a motion.

Sharon Stetzel-Thompson: I'll do it.

Sarah Moore Click: Go ahead.

Sharon Stetzel-Thompson: I make a motion on 25LC-002 that we approve this per staff's recommendations.

Sarah Moore Click: So, with all these specific conditions?

Sharon Stetzel-Thompson: Yes.

Christian Bourgeois: I'll second.

Sarah Moore Click: Okay. Is there any discussion?

Christian Bourgeois: Yeah. It didn't...I feel bad because they didn't get a permit, I guess.

[Indistinct]

But it didn't...I guess they weren't notified.

Sarah Moore Click: Tried to get a permit. Yeah. And it's just on the back of the house, the cementitious fiberboard just on the back of the house, which isn't visible from the street. But I understand you want it to stay historically accurate also.

Okay. Go ahead.

Jonathan Chastain: Yeah. and the Hardie board. is it the same size as what the wood. I mean, is it the same look on the outside, but it's just a different material?

[Indistinct]

Sarah Moore Click: Do y'all have questions for the applicant? No?

Jonathan Chastain: Well. If the staff...I don't know if the staff knows or not. I'm just trying to...

Catherine Gorman: Know the exact dimensions? But it looks like it's it's a pretty close match.

Jonathan Chastain: I was just going to see if the Commission wanted to think about not having to replace all the siding and keeping the Hardie board if we want to go wood, if it still looks the same.

Sarah Moore Click: Right. So amending the motion, or would we have to make another one? Just to see if Sharon is willing to amend the motion to...

Sharon Stetzel-Thompson: To let the Hardie board stay on the on the rear of the house only.

Sarah Moore Click: The rear of the house only.

Sharon Stetzel-Thompson: On the rear of the house only.

Sarah Moore Click: Okay. Do you agree with that? You seconded.

Christian Bourgeois: Yeah, I'll agree with that.

Sarah Moore Click: Okay. Is there any other discussion on the motion which is to approve staff's recommendation, with the exception of condition 1a. No. Okay. Okay. We can vote on it. Everybody in favor of the motion? Thank you.

Catherine Gorman: Are there any opposed?

Sarah Moore Click: Oh I'm sorry. Oh, I'm sorry I didn't see you. Okay. Thank you.

The motion passes. Thank you.

[END]

1721 Postoffice: This house was built in 1890. It is a sister house to our home next door at 1717 Postoffice. Both homes were built at the same time for Mrs Elisa Micheal. The houses have the same floor plan, molding, trim, doors and stairways. We have painstakingly removed all of the interior molding to re-use in this historical renovation.

The house was later turned into 4 bedroom apartment house. After years, it became a blight on the neighborhood. We bought the home in April of 2024 to turn into a single family home.

BASIS OF APPEAL:

Contesting the Decision of Landmark

SPECIFIC SECTION OF THE REGULATION APPLIED IN ERROR:

The 3 paragraphs under the staff report titled:

Conformance with the Design Standards of Historic Properties on pages 5 and 6.

There are 3 areas of contention.

1) First and foremost

"Staff also recommends approval of any door or window modification done in order to facilitate interior design changes, such as 3 clear story windows shown in plans and the second story door which currently opens onto empty space.

New vinyl-clad windows in new openings maybe considered appropriate to the show changes to the house"

The rear wall has 4 rooms that have interior design changes.

Kitchen converted to Bath--Approved

Bath converted to dining room--not approved

Kitchen converted to bath--not approved

Kitchen converted to study---not approved

Why was one room approved and remaining 3 rooms were not approved? 4 Windows were approved and 7 were not approved.

We have new windows in new openings all reflecting new design changes.

2) Second

Photos of 1899, 1912 Sunburn maps show the wall and windows in

question were not original to the house. Originally it was a back porch up and down. The wall and windows were added to make the house into a 4 unit apartment house. Our house which is a twin house still has the original porches at 1717 Postoffice next door.

I can see understand preserving original walls and windows but not preserving a bad addition without architectural significance.

)

3) Third. "Staff understands more flexibility in location D. The rear cannot easily be seen from any right of way. Also the staff understands a new wall was added in an effort to stabilize and properly engineer the entire rear wall."

Changes to the rear of the home should be allowed.

HOW THIS HAS AFFECTED THE AGGRIEVED PARTY:

THE GRIEVANCE: The work has been stopped for 2-3 months. We have a/c units sitting out in the weather waiting to get tested, electrical not getting hooked up, plumbing and all other trades coming to a standstill.

We cannot get any inspections on the home until we get approval from Landmark.

Cost of insurance, interest, and inflation continue.

SUMMARY

1.

"New vinyl clad windows in new openings should be considered appropriate to changes to the house"

All rear rooms have interior changes and only 4 windows were approved and 7 were not approved.

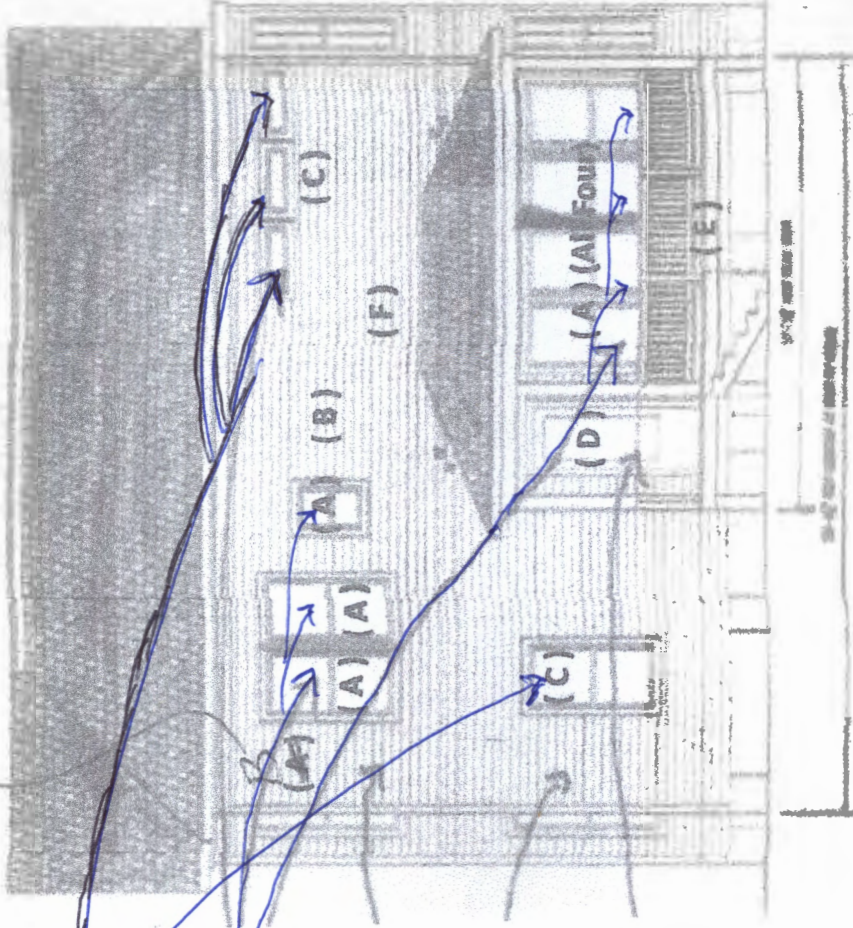
We feel like all windows should be approved instead of having a "patchwork "of different windows.

Why would only 4 windows be approved when all are new interior design and new uses?

2. We are requesting more flexibility and allow all windows to remain on the D Side (rear Side) of the property.

LANDMARK Approved (C)
(4 windows)

LAND MARK rejected (A)
(7 windows)



3 EXTERIOR ELEVATION - REAR VIEW

- A. Restore window openings and 2/2 wood window
- B. Previous window can remain covered (master closet now behind it)
- C. New windows in new openings can remain
- D. Existing door w/stained glass light relocated to back porch, approved
- E. Back porch approved w/ std. handrail design

F. Hardie siding approved, can remain

These were all new windows in new openings
all with interior Design Changes
4 windows approved
7 windows NOT approved
All 4 rooms have new uses

25LC-002 STAFF REPORT

FEB 3

Inappropriate

- Do not use cast-iron columns and railings where no evidence exists that they were used historically.
- Do not use brick bases for wood columns (exception is Craftsman styles).
- Do not use steel pipe columns.
- Do not use horizontal railings or railings that are too elaborate for the building (of a different style).
- Do not use concrete supports and/or steps.
- Do not relocate front stairs or steps.

**Conformance with the
Design Standard for
Historic Properties**

Staff finds that the request partially conforms to the Design Standards for Historic Properties; however, in other ways it deviates significantly from the standards.

While more flexibility may be considered in Location D: Not Typically Visible Rear Façade, the Design Standards specifically for "compatible replacement or alteration that is not visible from the street". Staff also understands that the replacement windows and siding were added as part of an effort to stabilize and properly engineer the entire rear wall. While the rear façade is not easily visible from any right of way, the use of cement ("Hardie") siding on a contributing structure is not considered compatible. Staff recommends removing the cement siding and replacing it with wood siding of the same dimensions and visual appearance of the existing wood siding.

Similarly, replacing existing wood windows with modern, vinyl-clad windows is not supported on contributing structures according to the Design Standards, regardless of location. Staff recommends that these windows be replaced with wood windows that match the existing windows which were removed as closely as possible. Staff also recommends approval of any door and window modifications done in order to facilitate interior design changes, such as the three clerestory windows shown in the plans and the second story door which currently opens onto empty space. New vinyl-clad windows in new openings may be considered appropriate to show changes to the house.

Finally, photos provided by the applicant show the new rear porch to be of wood construction. In addition, 1899, 1912, and 1947 Sanborn maps show that a rear porch was present on the house historically. Because of this, and because the porch is along the ground floor only, staff recommends approval of the request; however, the handrails should be of the "simple, square" design typically used for new construction as shown in Exhibit B.

Staff Recommendation

Staff recommends the request be approved with the following conditions:

Specific Conditions:

1. The exterior modifications shall conform to the design, materials and placement presented in Attachment A of the staff report with the following modifications:
 - a. The cementitious siding be removed and replaced with wood siding to match the existing wood siding elsewhere on the house;

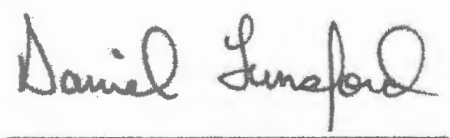
NOTHING WAS ADDED INTO
EXISTING OPENINGS. IT WAS
ADDED TO NEW OPENINGS

- b. Replacement vinyl-clad windows added into existing openings be replaced with wood windows that closely match the original windows as closely as possible, except when those windows reflect interior changes to the floor plans;
- c. The rear porch handrails shall be of the typical "simple, square" design;
- d. The applicant complete all required work by August 3, 2025;

Standard Conditions:

- 2. Any significant alteration from the design approved by the Landmark Commission, shall require the request to be returned to the Commission for review;
- 3. The applicant shall obtain a building permit prior to beginning construction;
- 4. Any additional work will require a separate building permit from the Building Department, and may require review by the Landmark Commission and/or the City's Historic Preservation Officer prior to construction;
- 5. The Landmark Commission approval shall expire after two years if no progress has been made toward completion of a project unless the applicant files a request for an extension or can show progress toward completion of a project; and,
- 6. In accordance with Section 10.110 of the Land Development Regulations, should the applicant be aggrieved by the decision of the Landmark Commission, a letter requesting an appeal must be submitted to the Historic Preservation Officer within 20 days of the Commission decision. Additionally, a Zoning Board of Adjustment application must be submitted to the Development Services Department by the next respective deadline date.

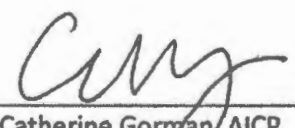
Respectfully Submitted,



Daniel Lunsford
Senior Planner

January 28, 2025

Date



Catherine Gorman, AICP
Assistant Director & Historic Preservation Officer

January 28, 2025

Date

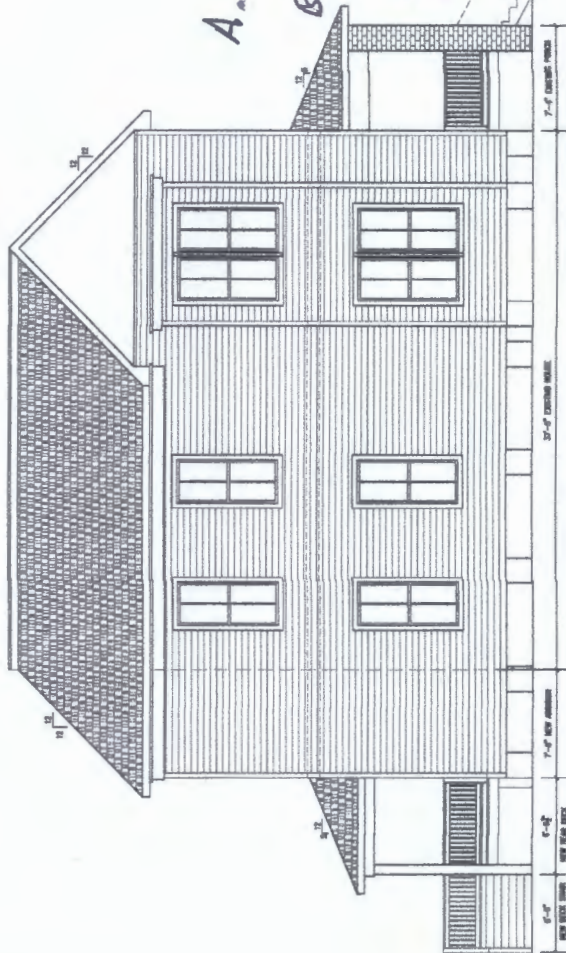
APPROVED

REJECTED

These were all new openings
with new windows
All four rooms have new uses



3 EXTERIOR ELEVATION - REAR VIEW
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - LEFT SIDE VIEW
SCALE: 1/4" = 1'-0"

A. Restore window openings
and 2/2 wood windows
B. Previous windows can
remain covered

C. New windows in new openings
can remain.

D. Existing door tested to back can remain

E. Back porch can remain.

A Renovation for Robert - Donna Faickney
1721 Post Office, Galveston, Texas

CDR Drafting Services, Inc.
8715 POWER ROAD
SANTA FE, TEXAS
409-827-4054

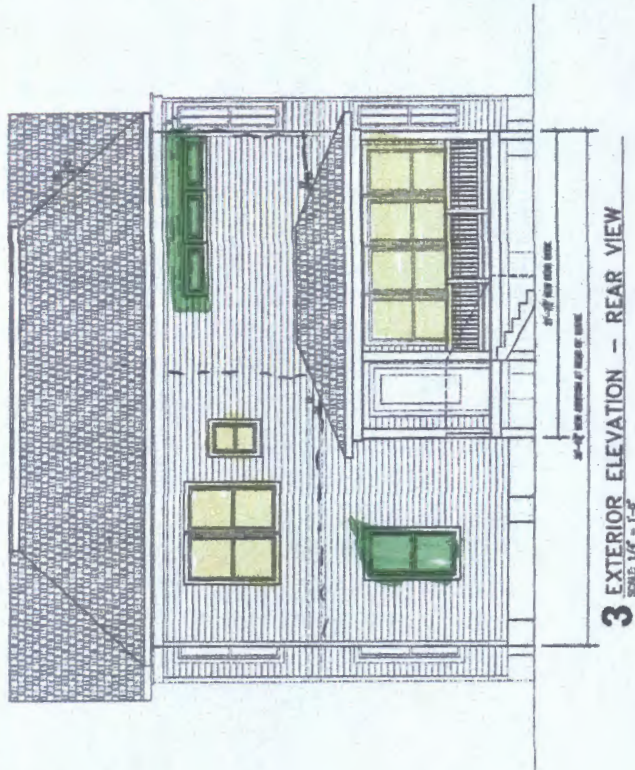
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REVISIONS
SHEET NO.

A1.1

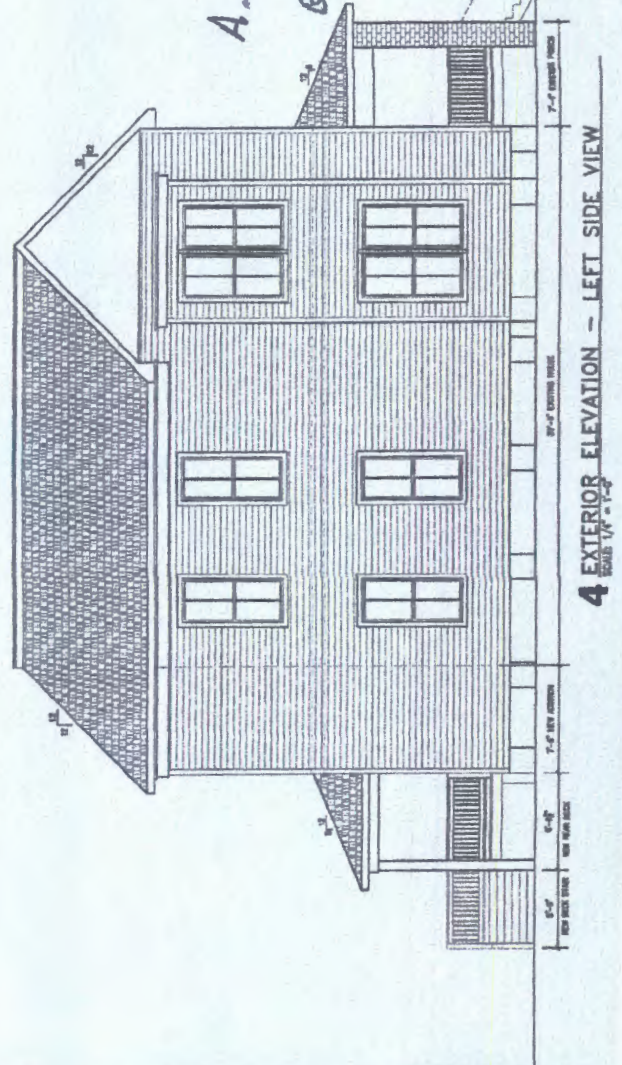
APPROVED

REJECTED

These were all new openings
with new windows
All four rooms have new uses



3 EXTERIOR ELEVATION - REAR VIEW
SCALE 1/4" = 1'-0"



4 EXTERIOR ELEVATION - LEFT SIDE VIEW
SCALE 1/4" = 1'-0"

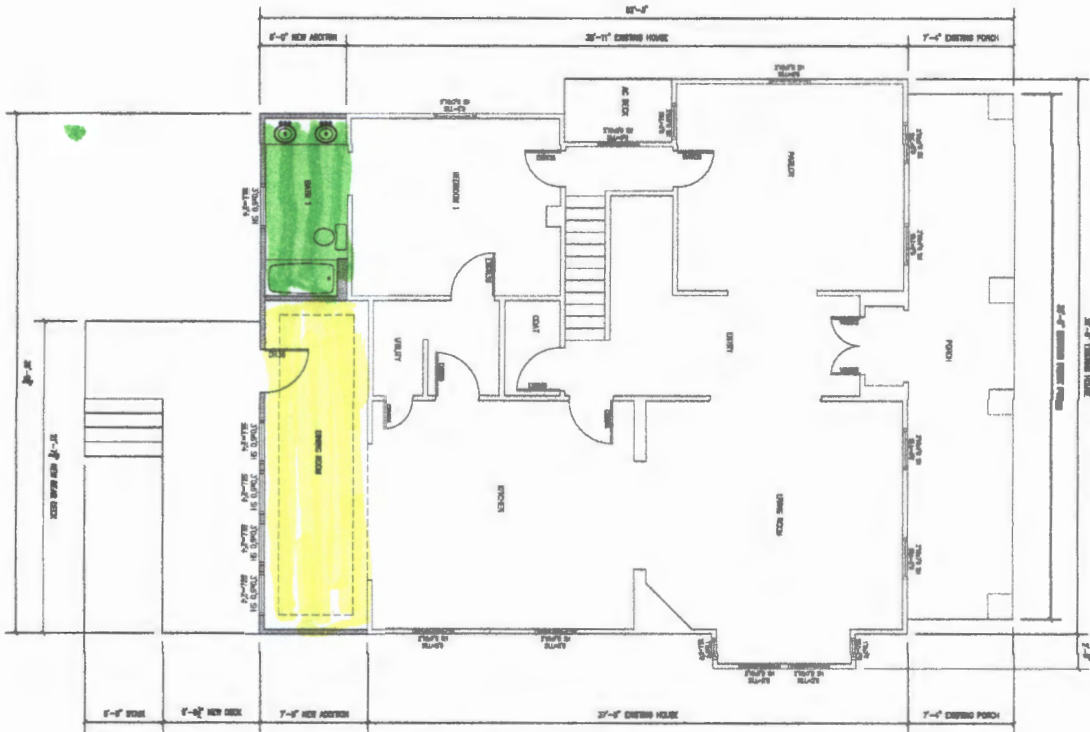
- A. Restore window openings and 2 1/2 wood windows
- B. Previous windows can remain covered

C. New windows in new openings can remain.

D. Existing door located to back can remain.

E. Back porch can remain.

1 FLOOR PLAN - LEVEL 1
 SCALE: 1/8" = 1'-0"



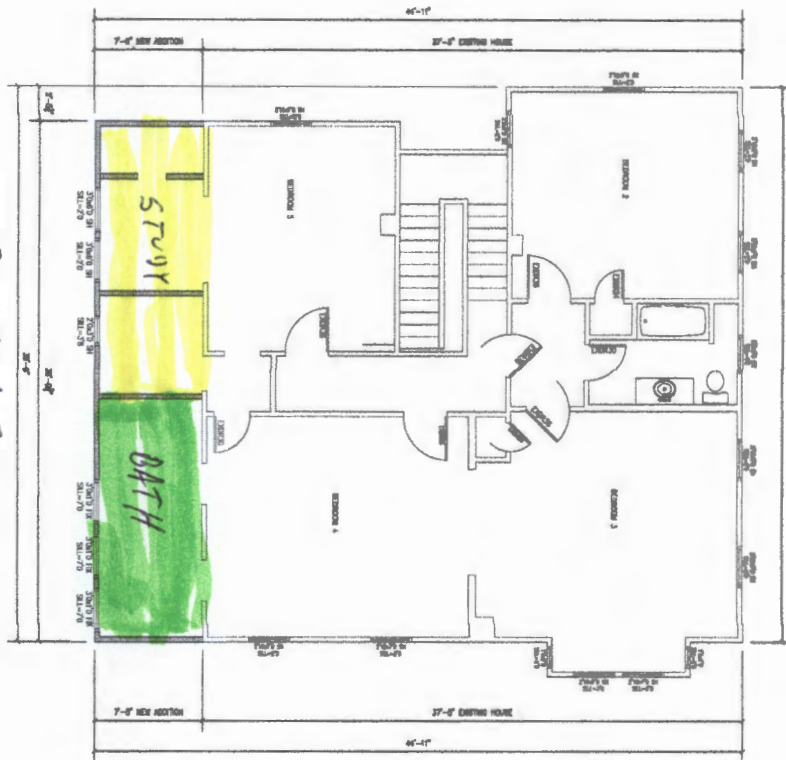
Downstairs

SQUARE FOOTAGE	
LEVEL 1	1,100 SQ. FT.
LEVEL 2	1,100 SQ. FT.
LEVEL 3	1,100 SQ. FT.
LEVEL 4	1,100 SQ. FT.
LEVEL 5	1,100 SQ. FT.
LEVEL 6	1,100 SQ. FT.
LEVEL 7	1,100 SQ. FT.
LEVEL 8	1,100 SQ. FT.
LEVEL 9	1,100 SQ. FT.
LEVEL 10	1,100 SQ. FT.
LEVEL 11	1,100 SQ. FT.
LEVEL 12	1,100 SQ. FT.
LEVEL 13	1,100 SQ. FT.
LEVEL 14	1,100 SQ. FT.
LEVEL 15	1,100 SQ. FT.
LEVEL 16	1,100 SQ. FT.
LEVEL 17	1,100 SQ. FT.
LEVEL 18	1,100 SQ. FT.
LEVEL 19	1,100 SQ. FT.
LEVEL 20	1,100 SQ. FT.

A Renovation for Robert - Donna Faickney
 1721 Post Office, Galveston, Texas

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A2.0



UPSTAIRS

2 FLOOR PLAN - LEVEL 2

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE	
LEVEL 1	EXISTING BUILDING - 1,000 SQ FT NEW ADDITION - 2,000 SQ FT TOTAL SQUARE FOOTAGE - 3,000 SQ FT
LEVEL 2	EXISTING BUILDING - 1,000 SQ FT NEW ADDITION - 2,000 SQ FT

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A2.1

ZBA Motion Guide – Landmark Commission Determination Appeal

I make a motion to **Affirm Landmark Commission's Determination** due to the following:

I make a motion to **Reverse Landmark Commission's Determination** due to the following:

I make a motion to **Modify Landmark Commission's Determination** due to the following (*state the modification*):
