

**NOTICE OF MEETING
PLANNING COMMISSION
OF THE CITY OF GALVESTON
TUESDAY, MAY 19, 2026 - 3:30 PM
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas
REGULAR MEETING AGENDA**

**One or more members of the Planning Commission may attend the meeting by
videoconference.**

**A quorum of the members of the Planning Commission will be physically present at the
meeting location.**

1. Call Meeting to Order
2. Attendance
3. Conflict of Interest
4. Approval of Minutes

4.A May 5, 2026 – Regular Meeting

5. Public Comment
Request to Address Commission on Agenda Items Without Public Hearings and Non-Agenda Items (three-minute maximum per speaker. If speaking through a translator, six-minute maximum per speaker)
6. New Business and Associated Public Hearings

6.B BEACHFRONT CONSTRUCTION/DUNE PROTECTION PERMITS

1. **26BF-019 (23150 Gulf Drive)** Request for an exemption and a Beachfront Construction Certificate and Dune Protection Permit to include proposed construction of a single-family dwelling with crushed gravel driveway and fibercrete footer. Property is legally described as Abstract 121, Page 13, Lot 6, Terramar Beach Section 5, a subdivision in the City and County of Galveston, Texas.
Applicant: Amy Barrington – Sheldon Homes, LLC
Property Owner: Poseidons Palace LLC

6.C GALVESTON LANDMARK

2. **26P-019 (2922 Benardo de Galvez / Avenue P)** Request for designation as a Galveston Landmark. The property is legally described as M.B. Menard Survey, West 1/2 of Lot 12 & East 1/2 of Lot 13 (3012-1), Southeast Block 64, Galveston Outlots, in the City and County of Galveston, Texas.
Applicant: Stanton P. Bell, Jr.
Property Owner: Stanton P. Bell, Jr.

6.D **PLANNED UNIT DEVELOPMENT**

3. **26P-021 (902 16th Street)** Request for a Planned Unit Development (PUD) Overlay District to permit “Office” land use. Property is legally described as M.B. Menard Survey, Lots 1 and 2, Block 195, in the City and County of Galveston Texas.
Applicant: Bryan Fagan, Fagan Realty Group, LLC
Property Owner: Linda Jean Kenney

6.E **PLATS**

4. **26P-023 (2005 53rd Street)** Request for a Minor Plat to reconfigure five lots into two. The properties are legally described as Abstract 628 M.B. Menard Survey, Part of Lots 8 Through 12 (8-1), Block 124, Denver Resurvey, in the City and County of Galveston, Texas.
Applicant: Joseph Batiste
Property Owner: Joseph Odis Batiste Jr. Trust

7. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on 05/12/2026 at 03:50 PM

Karina Rosales, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TEXAS 77550 (409 797-3510).

MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING



City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON REGULAR MEETING – May 5, 2026

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present:	Stan Humphrey, Anthony Rios, Tom Singleton, Herb Walpole, Ex-Officio CM Beau Rawlins
Members Absent:	Mary Jan Lantz, John Lightfoot
Staff Present:	Teresa Evans, Executive Director of Development Services; Catherine Gorman, AICP, Assistant Director/HPO; Daniel Lunsford, Planning Manager; Kyle Clark, Coastal Resources Manager; Donna Fairweather, Interim City Attorney; Karina Rosales, Planning Technician.

CONFLICT OF INTEREST

None

APPROVAL OF MINUTES

The April 21, 2026, workshop and regular meeting minutes were approved as presented.

PUBLIC COMMENT

Please see the attached list of presentations made to the Commission.

PUBLIC HEARINGS

PLATS

26P-018 (Vacant Tract Adjacent to the East of 2911 South Sonny Lane) Request for a Minor Plat to reconfigure two lots into four. The property is legally described as Abstract 121 Hall & Jones Survey Part of Lot 229 (229-11) Trimble & Lindsey Section 2, in the City and County of Galveston, Texas.

Applicant: Michael Gaertner

Property Owner: N3on Media, LLC.

A public hearing was held.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

LICENSE TO USE

26P-017 (Adjacent to 302 21st Street/Moody) Request for a License to Use for construction fencing and scaffolding. Adjacent property is legally described as M.B. Menard Survey, Lots 1, 2 and West 18 Feet of Lot 3 (1-1), Block 560, in the City and County of Galveston, Texas.

Applicant: Dylan DeVito, The ITEX Group, LLC.

Adjacent Property Owner: Galveston 302 21st Street, LLC.

Easement Holder: City of Galveston

Staff presented the staff report and noted that 13 public hearing notices were sent, and none returned.

Chairperson Walla opened the public hearing on the case. Dylan DeVito, the applicant, gave a presentation to the Commission. See the attached list of presentations made to the Commission. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Rios made a motion to approve the request with Staff's Recommendations.

Commissioner Singleton seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Humphrey, Rios, Singleton, Walpole
Opposed:	None
Absent:	Lantz, Lightfoot
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

THE MEETING ADJOURNED AT 3:44 PM



26BF-019

STAFF REPORT

ADDRESS:

23150 GULF DR GALVESTON, TX
77554

LEGAL DESCRIPTION:

The property is legally described as Abstract 121, Page 13, Lot 6, Terramar Beach Section 5, a subdivision in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Amy Barrington –
Sheldon Homes, LLC

PROPERTY OWNER:

Poseidons Palace LLC

REQUEST:

Request for an exemption and a Beachfront Construction Certificate and Dune Protection Permit to include proposed construction of a single-family dwelling with crushed gravel driveway and fibercrete footer

APPLICABLE LAND USE

REGULATIONS:

Chapter 29, Article 2, Beach Access Dune Protection and Beachfront Construction Regulation.

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

A – Aerial Map
B – Topographic Survey
C – Site Plan & Drawings
D – Site Photos
E – GLO Comment Letter

STAFF:

Kyle Clark
Coastal Resources Manager
KClark@GalvestonTX.gov



Note: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

Executive Summary:

The City of Galveston's Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval applications for a Beachfront Construction Certificate/Dune Protection Permit when proposed construction activities occur in areas within or seaward of the Dune Conservation Area or up to 50 feet landward of the Dune Protection Line. The Dune Protection Line is the area within 25 feet landward of the North Toe of the Critical Dune Area or within 200 feet landward of the Line of Vegetation for those beach areas where no dunes exist west of the terminus of the Seawall.

The applicant is requesting an exemption and approval to construct a single-family dwelling with a crushed gravel driveway and fibercrete footer. All proposed slab surfaces and pilings are 25 feet from the North Toe of the Dune, outside of the dune conservation area. The cantilevered portion of the structure is a gradient of 21-22 feet from the North Toe of the Critical Dune Area. The proposed construction of the cantilevered portion of the structure is 156 feet from the Line of Vegetation. This is landward and seaward of the Dune Protection Line and within the Planning Commission review area. According to the application materials, the proposed construction activities appear to be landward of dunes and dune vegetation. Therefore, mitigation activities are not proposed.

Site and Surrounding Area:

The subject site is located in the Terramar Beach Subdivision. Single-family dwellings are located to the North, Northwest, Northeast and East; a beach and dune system are located to the South of the subject property. According to the Bureau of Economic Geology, this area is stable.

Analysis:

The table below summarizes the applicant survey and site plan (Attachments B and C). The attachments indicate the proposed new construction and the location of proposed construction in relation to on-site conditions:

Proposed Structure's Distance from:	Distance (Feet)
...North Toe of the Dune	21-22
...the Line of Vegetation	156

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the Beachfront Construction Certificate and Dune Protection Permit standards.

- ☒ The proposed activity is not a prohibited activity as defined in these standards.
- ☒ The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.
- ☒ There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.
- ☒ The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, which is not required, will adequately minimize, rectify, and/or compensate for any unavoidable adverse effects.
- ☒ The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and
- ☒ The structure is located as far landward as practicable.

Consideration for Exemption:

Staff finds the request for the exemption on the prohibition of construction in the Dune Conservation Area (DCA) meets the criteria provided within the Dune Protection and Beach Access Plan as well as the Erosion Response Plan. The required criteria and considerations are listed below:

- No practicable alternative to construction within or seaward of the Dune Conservation Area. In determining what is practicable, the City shall consider whether an action, technology, or technique is commercially available and capable of being done after taking into consideration existing building practices, effectiveness, scientific feasibility, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot and considering the overall development plan for the property. The City shall also consider the cost of the technology or technique.
 - The applicant has designed the project to have the structure sit at the northern building line.
 - The structure cannot feasibly be moved any further landward than where proposed.
 - The project was designed with a minimal footprint to reduce square footage within the DCA.
 - The cantilevered design was chosen to reduce direct impacts to the DCA.

- Working with the Coastal Resources Division, the applicant also included a set of gutters to direct rainfall away from the DCA.

Staff Recommendation:

Staff recommends approval of 26BF-019 with the following conditions:

Conditions for Case 26BF-019:

1. As provided in the Erosion Responses Plan, an exemption is granted to allow for construction within the Dune Conservation Area.
2. The applicant must adhere to all aspects of Chapter 29: Planning-Beach Access Dune Protection & Beachfront Construction of the City of Galveston Code of Ordinances.
3. The applicant must adhere to all aspects of the Texas Administrative Code Title 31. Natural Resources and Conservation, Part 1. General Land Office, Chapter §15. Coastal Area Planning, including but not limited to those outlined in the GLO Comment Letter associated with this Beachfront Construction Certificate and Dune Protection Permit.
4. The construction activities must minimize impacts on natural hydrology and must not cause erosion of adjacent properties. The applicant shall direct all stormwater inland away from the critical dune area, public beach, and adjacent properties.
5. Where applicable, the proposed construction must be consistent with FEMA minimum requirements or with the FEMA approved local ordinance.

ERP PRACTICABLE DEFINITION

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering the overall development plan for the property.

TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)

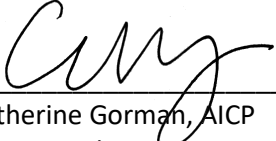
In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,



Kyle Clark
Coastal Resources Manager

5/7/2026



Catherine Gorman, AICP
Assistant Planning Director / HPO

05/07/2026
Date

A – Aerial Map

23150 Gulf Drive Case #26BF-019

BEG and FIRM Coastal Map Legend

BEG Shoreline Change Rates

1950-2024 - End Point Rate (ft/yr)

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)
- <all other values>

— Lot Lines

▭ Parcels

— 1000ft from MHT

▭ FIRM Panels

■ 0.2% Annual Chance

■ Zone A

■ Zone AE, Zone AO

■ Zone VE

■ Zone X

▨ Open Water

- - - Subdivisions



0 10 20 30 40 50 60 70 80 90 Feet

1:804

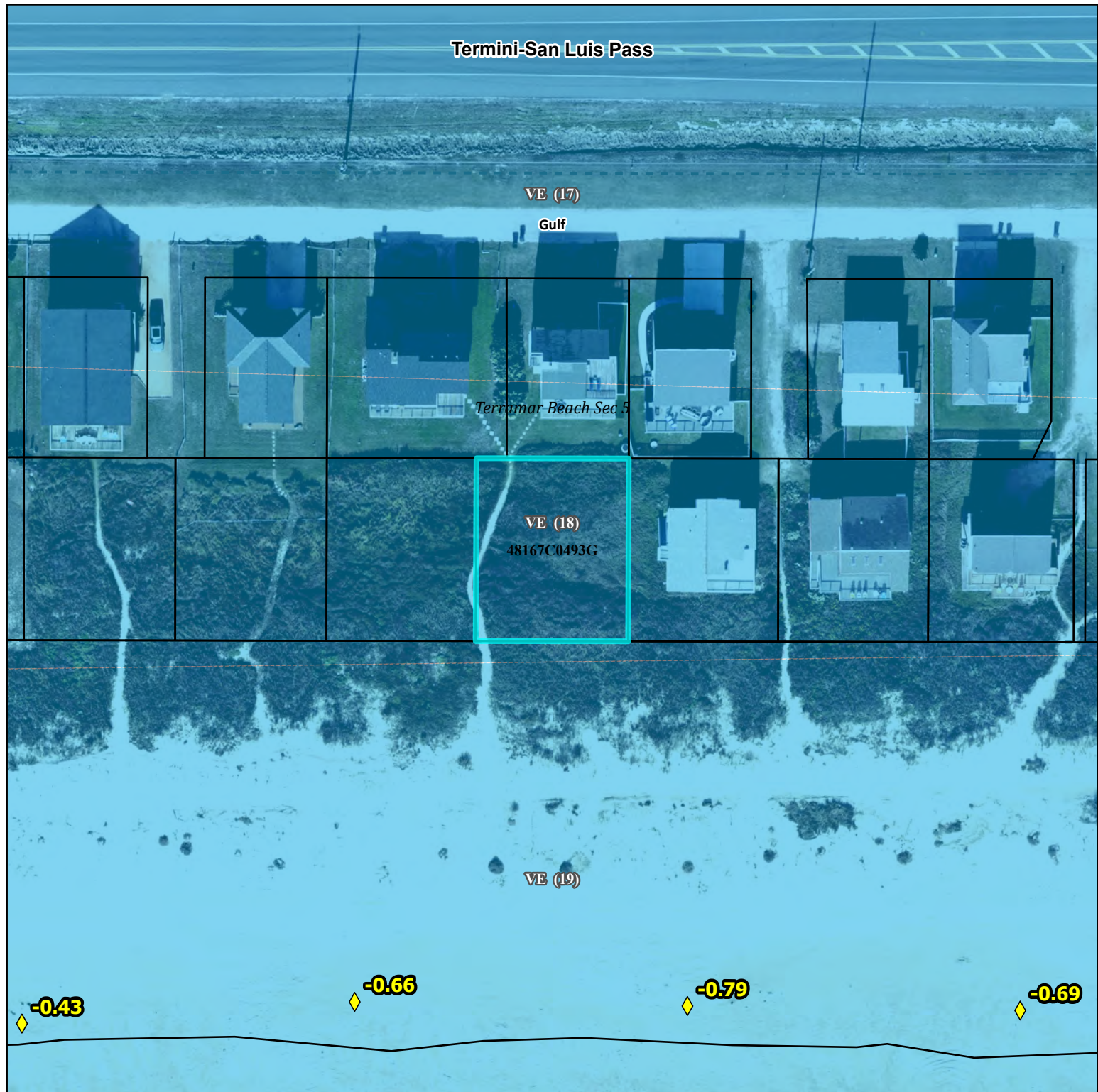
Data Sources:

Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology, Flood Insurance Rate Map from FEMA.

Map prepared by the City of Galveston Development
Services Department, Coastal Resources Division
(hcummings) - 3/24/2026

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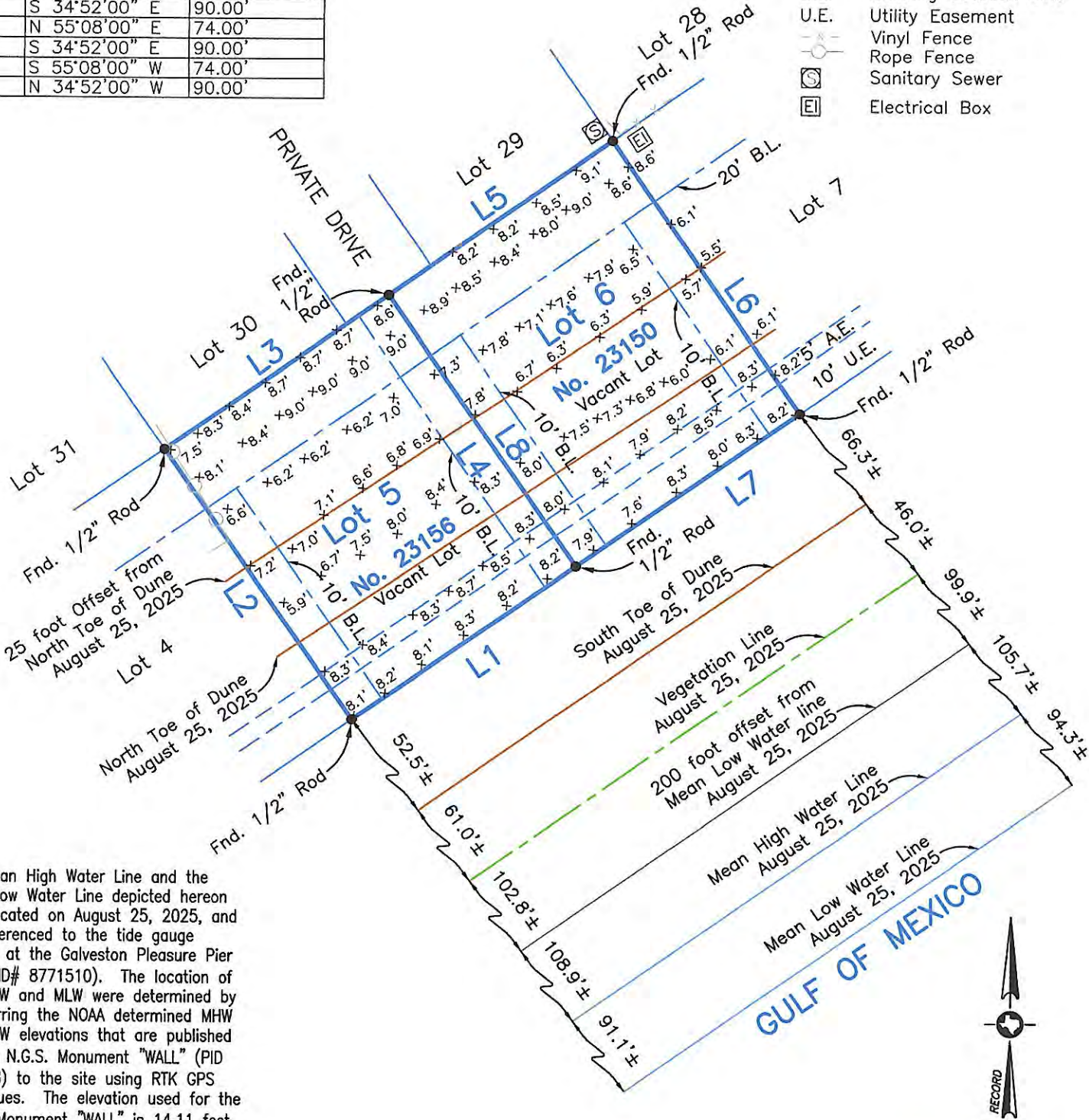


B – Topographic Surveys

LINE	BEARING	DISTANCE
L1	S 55°08'00" W	74.00'
L2	N 34°52'00" W	90.00'
L3	N 55°08'00" E	74.00'
L4	S 34°52'00" E	90.00'
L5	N 55°08'00" E	74.00'
L6	S 34°52'00" E	90.00'
L7	S 55°08'00" W	74.00'
L8	N 34°52'00" W	90.00'

LEGEND

- A.E. Overhead Aerial Easement
- B.L. Building Setback Line
- U.E. Utility Easement
- Vinyl Fence
- Rope Fence
- Sanitary Sewer
- Electrical Box



The Mean High Water Line and the Mean Low Water Line depicted hereon were located on August 25, 2025, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOAA ID# 8771510). The location of the MHW and MLW were determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

Survey of Lots Five (5), and Six (6), of **TERRAMAR BEACH, SECTION FIVE (5)**, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 1616, Page 149 and transferred to Plat Record 9, Map No. 37, of the Map Records in the Office of the County Clerk of Galveston County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
Stephen C. Blaskey
Registered Professional
Land Surveyor No. 5856

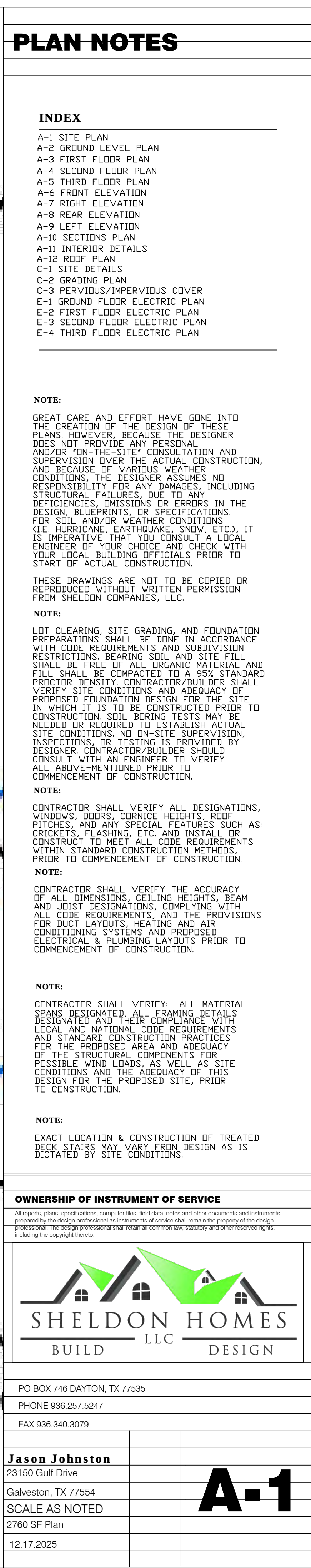


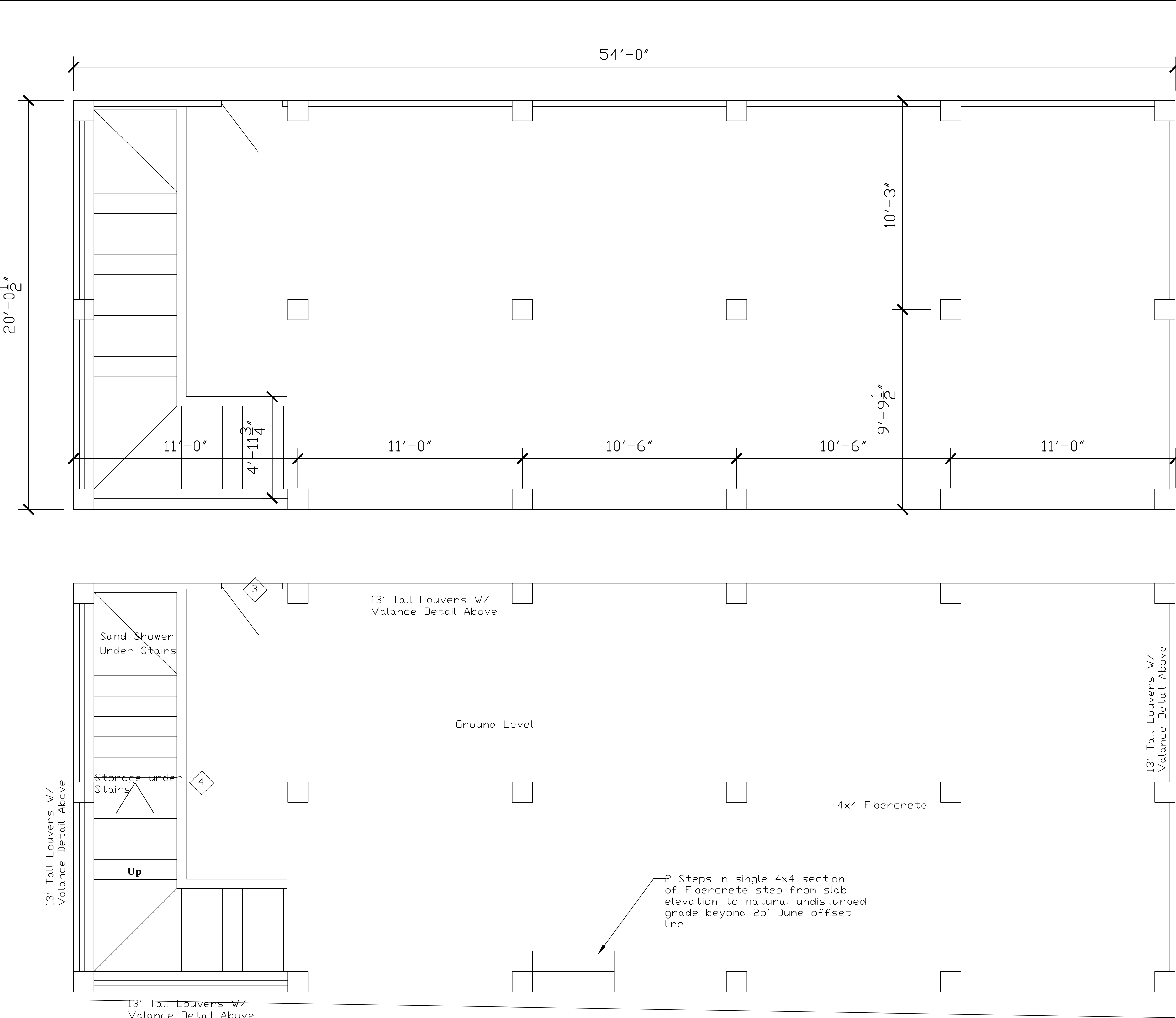
GALVESTON OFFICE
Registration Number: 10193855
(409) 740-1517 www.hightidelandsurveying.com
200 HOUSTON AVE. SUITE B | LEAGUE CITY, TX 77553
Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

SURVEY DATE:	AUGUST 25, 2025
FILE No.:	7014-0000-0006-000
DRAFTING:	AM
JOB No.:	25-0357

- NOTES:**
- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
 - 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
 - 3) Bearings based on Monumentation of the South R.O.W. line of Gulf Drive.
 - 4) Deed references shown hereon are not a statement of ownership.
 - 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCD 62.
 - 6) Surveyed without benefit of a Title Report.

C – Site Plans and Drawings





FOUNDATION PLAN

SCALE 1/4"=1'-0"

PILING & FRAMING NOTES:

- ALL CONNECTION HARDWARE, NAILING SCHEDULES & FINAL APPROVAL OF FOUNDATION PLANS, FRAMING PLANS & BUILDING SECTION PLANS ARE BY A LICENSED STRUCTURAL ENGINEER.
- EXPOSED WOOD SHALL BE TREATED AS REQUIRED BY CODES.
- PILING AND POSTS FOR EXTERIOR WOOD STEPS ARE NOT ALWAYS SHOWN & SHALL BE DETERMINED IN THE FIELD.
- METHOD OF ANCHORAGE & BRACING OF STRUCTURE SHALL BY AN ENGINEER & COMPLY WITH LOCAL CODES.
- PILING SHALL BE PRESSURE TREATED, SIZED, INSTALLED & BRACED BY AN ENGINEERS APPROVAL & COMPLY WITH LOCAL CODES.
- PILING SHALL BE INSPECTED ON JOB SITE BY AN ENGINEER PRIOR TO EMBEDMENT, PILINGS INSTALLED WITHOUT INSPECTION WILL BE REJECTED AND REMOVED.
- ALL PILES INSTALLED SHALL BE IN ACCORDANCE OR EXCEED THE SCHEDULE FOR DIAMETER AND GROUND PENETRATION, PRESSURE TREATMENT SHALL BE NOT LESS THAN 12 LBS.
- 2X SOLID BLOCKING BETWEEN FLOOR JOISTS.
- PILING SHALL BE PRESSURE TREATED, SIZED, INSTALLED & BRACED BY AN ENGINEERS APPROVAL & COMPLY WITH LOCAL CODES. SITE CONDITIONS AND SOIL REPORT.
- HANDRAILS & GUARDRAILS SHALL COMPLY WITH SECTIONS 1014, 1015 AND 1608 OF THE 1997 STANDARD BUILDING CODE.
- STAIRS SHALL COMPLY WITH SECTION 1007 OF THE STANDARD BUILDING CODE.
- WOOD CONSTRUCTION SHALL COMPLY WITH CHAPTER 23 OF THE 1997 STANDARD BUILDING CODE.
- MAXIMUM UNBRACED SPAN FOR 2X6 ROOF RAFTERS AT 24" O.C. SHALL BE 12'-3". MAXIMUM SPAN FOR 2X6 CEILING JOISTS AT 16" O.C. SHALL BE 14'-1" AND 2X8 CEILING JOISTS AT 16" O.C. SHALL BE 18'-6".
- ATTIC ACCESS SHALL COMPLY WITH SECTION 2309 OF THE 1997 STANDARD BUILDING CODE.
- ATTIC VENTILATION SHALL COMPLY WITH SECTION 1203.13 & 2309.7 OF THE 1997 STANDARD BUILDING CODE.
- ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST APPLICABLE EDITIONS OF THE STANDARD BUILDING CODES, LIFE SAFETY CODE (NFPA #101), NATIONAL ELECTRICAL CODE (NFPA #70), STANDARD CONSTRUCTION PRACTICE AND LOCAL CODES, ORDINANCES & AMENDMENTS.
- PILING SHALL BE MINIMUM 10" X 10" PRESSURE TREATED. MINIMUM PILE EMBEDMENT SHALL BE 10' OR 1' OF EMBEDMENT FOR EACH 1' OF PROJECTION ABOVE FINISH GRADE, WHICHEVER IS GREATER. ALL PILINGS SHALL BE ALLOWED TO SET FOR MINIMUM 5 DAYS BEFORE APPLYING ANY FRAMING LOADS.

AREAS

FIRST FLOOR	909 SF
SECOND FLOOR	1285 SF
THIRD FLOOR	566 SF
TOTAL LIVING	2760 SF
OUTDOOR LIVING/BALCONIES	544 SF
OBSERVATION/POOL DECK	437 SF
FIBERCRETE AREA	1092 SF
EXTERIOR STAIRS	175 SF

PLAN NOTES

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NOTE:

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THE DESIGN OF THESE PLANS. HOWEVER, BECAUSE THE DESIGNER DOES NOT PROVIDE ANY PERSONAL AND/OR "ON-THE-SITE" CONSULTATION AND SUPERVISION OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF VARIOUS WEATHER CONDITIONS, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES, DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN, BLUEPRINTS, OR SPECIFICATIONS. FOR SOIL AND/OR WEATHER CONDITIONS (I.E. HURRICANE, EARTHQUAKE, SNOW, ETC.), IT IS IMPERATIVE THAT YOU CONSULT A LOCAL ENGINEER OF YOUR CHOICE AND CHECK WITH YOUR LOCAL BUILDING OFFICIALS PRIOR TO START OF ACTUAL CONSTRUCTION.

THESE DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM SHELDON HOMES, LLC.

NOTE:

LOT CLEARING, SITE GRADING, AND FOUNDATION PREPARATIONS SHALL BE DONE IN ACCORDANCE WITH CODE REQUIREMENTS AND SUBDIVISION RESTRICTIONS. BEARING SOIL AND SITE FILL SHALL BE FREE OF ALL ORGANIC MATERIAL AND FILL SHALL BE COMPACTED TO A 95% STANDARD PROCTOR DENSITY. CONTRACTOR/BUILDER SHALL VERIFY SITE CONDITIONS AND ADEQUACY OF PROPOSED FOUNDATION DESIGN FOR THE SITE. IN WHICH IT IS TO BE CONSTRUCTED PRIOR TO CONSTRUCTION. SOIL BORING TESTS MAY BE NEEDED OR REQUIRED TO ESTABLISH ACTUAL SITE CONDITIONS. NO ON-SITE SUPERVISION, INSPECTIONS, OR TESTING IS PROVIDED BY DESIGNER. CONTRACTOR/BUILDER SHOULD CONSULT WITH AN ENGINEER TO VERIFY ALL ABOVE-MENTIONED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:

CONTRACTOR SHALL VERIFY ALL DESIGNATIONS, WINDOWS, DOORS, CORNICE HEIGHTS, ROOF PITCHES, AND ANY SPECIAL FEATURES SUCH AS: CRICKETS, FLASHING, ETC. AND INSTALL OR CONSTRUCT TO MEET ALL CODE REQUIREMENTS WITHIN STANDARD CONSTRUCTION METHODS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:

CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS, CEILING HEIGHTS, BEAM AND JOIST DESIGNATIONS, COMPLYING WITH ALL CODE REQUIREMENTS, AND THE PROVISIONS FOR DUCT LAYOUTS, HEATING AND AIR CONDITIONING SYSTEMS AND PROPOSED ELECTRICAL & PLUMBING LAYOUTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:

CONTRACTOR SHALL VERIFY: ALL MATERIAL SPANS DESIGNATED, ALL FRAMING DETAILS DESIGNATED AND THEIR COMPLIANCE WITH LOCAL AND NATIONAL CODE REQUIREMENTS AND STANDARD CONSTRUCTION PRACTICES FOR THE PROPOSED AREA AND ADEQUACY OF THE STRUCTURAL COMPONENTS FOR POSSIBLE WIND LOADS, AS WELL AS SITE CONDITIONS AND THE ADEQUACY OF THIS DESIGN FOR THE PROPOSED SITE, PRIOR TO CONSTRUCTION.

NOTE:

EXACT LOCATION & CONSTRUCTION OF TREATED DECK STAIRS MAY VARY FROM DESIGN AS IS DICTATED BY SITE CONDITIONS.

OWNERSHIP OF INSTRUMENT OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the design professional as instruments of service shall remain the property of the design professional. The design professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.



PO BOX 746 DAYTON, TX 77535

PHONE 936.257.5247

FAX 936.340.3079

Jason Johnston

23150 Gulf Drive

Galveston, TX 77554

SCALE AS NOTED

2760 SF Plan

12.17.2025

A-2



24"x24" Open
2x4 Valance Detail
Above Louvered Walls
For Air Flow Under
House. East and
West Sides and Rear.
No Louvers On Beach
Side Open Face,
Only Louvers at Stairs
and Valance Detail.

ELEVATION PLAN
SCALE: N.T.S.

Beach Side

PLAN NOTES

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Jason Johnston

23150 Gulf Drive

Galveston, TX 77554

SCALE AS NOTED

2760 SF Plan

12.17.2025

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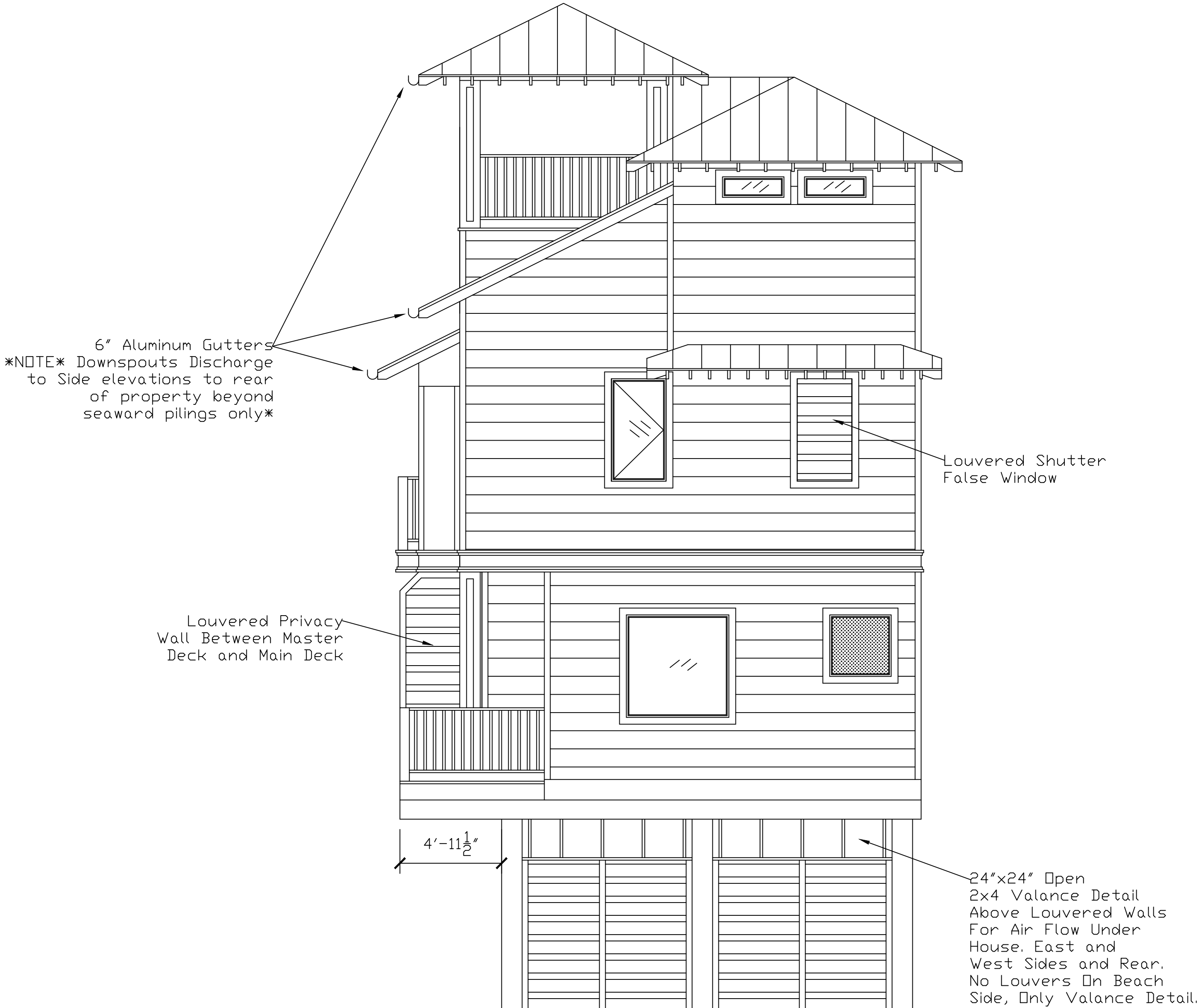
Galveston, TX 77554

SCALE AS NOTED

2760 SF Plan

12.17.2025

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Right Side



ELEVATION PLAN
SCALE: N.T.S. **Rear/Highway Side**

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SCALE AS NOTED
2760 SF Plan
12.17.2025

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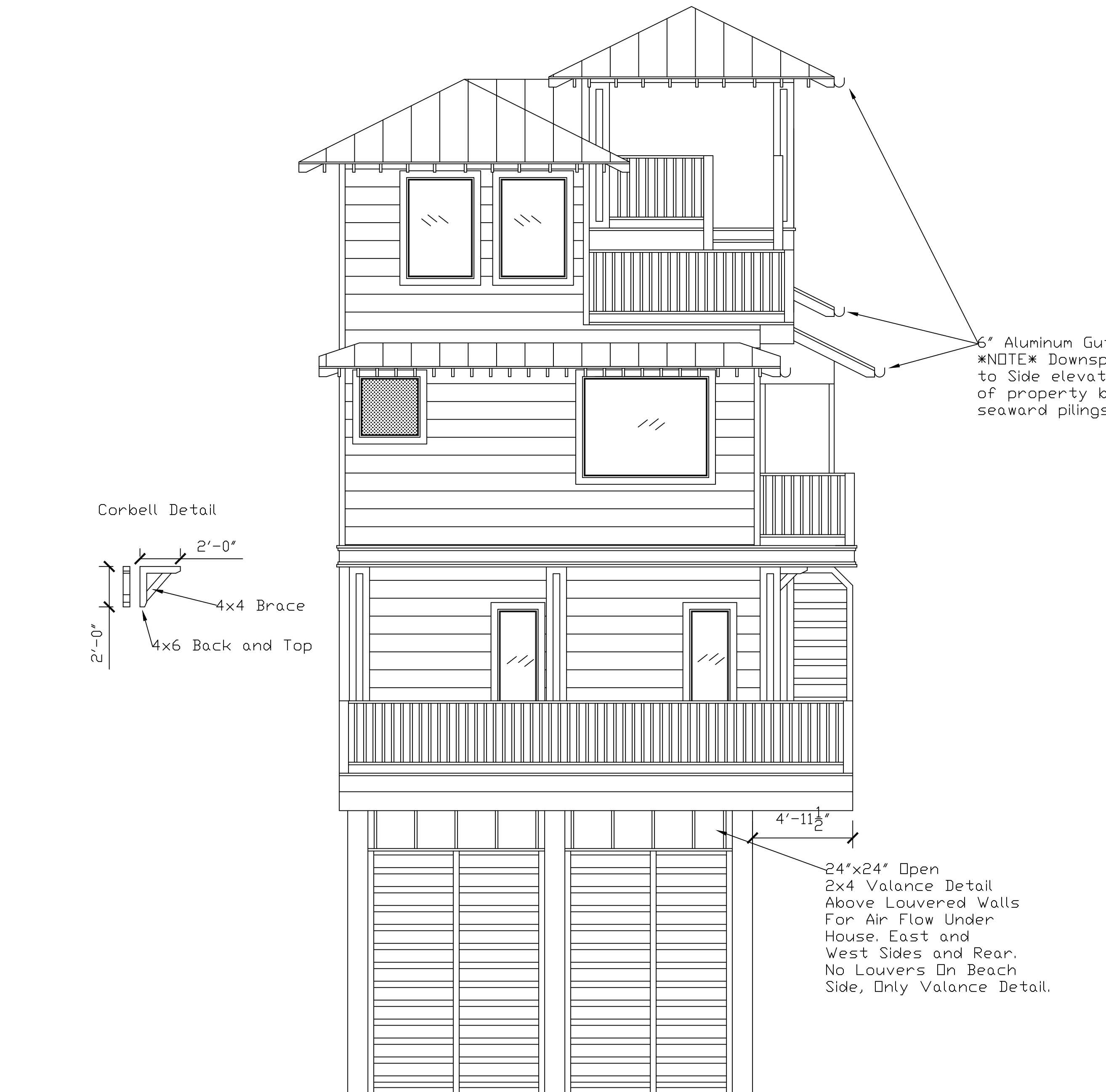
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SCALE AS NOTED

2760 SF Plan

12.17.2025

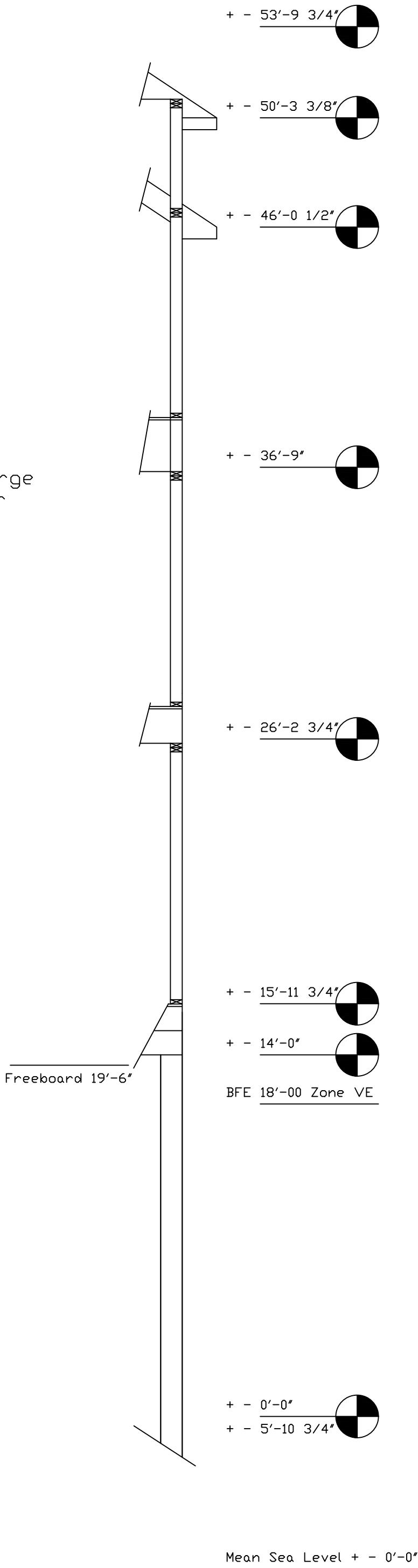
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ELEVATION PLAN

SCALE N.T.S.

Left Side



Gulf Drive
50' R.O.W.

Private Drive

10' Wide Crushed Rock
Drive Improvement on
East 14' half of Private
Drive adjacent to Lot 29

Crushed Rock
Parking Area

4x4
Fibercrete

20' B.L.

25' Offset From
North Toe of Dune
*No grading or
Construction Activity
Seaward of this line*

North Toe of Dune

10' B.L.

Aerial Overhang

5' A.E.
10' U.E.

10' B.L.

Minimum 15% unimproved Area of
Front Yard Required.
45% of the lot landward of the 20'
build line is unimproved.
37% of lot landward of 25'
Dune Offset Line is unimproved.
71% of the entire lot is unimproved.

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SCALE AS NOTED		
2760 SF Plan		
12.17.2025		

Gulf Drive
50' R.O.W.

Private Drive

Grade unimproved Areas
outside of the 25' dune
offset line toward the
North property line

Existing/Proposed
Finished
Grade Elevation

Grade unimproved Areas
outside of the 25' dune
offset line toward the
North property line

25' Offset From
North Toe of Dune
*No grading or
Construction Activity
Seaward of this line*

Top of Fibercrete @ 8.7'

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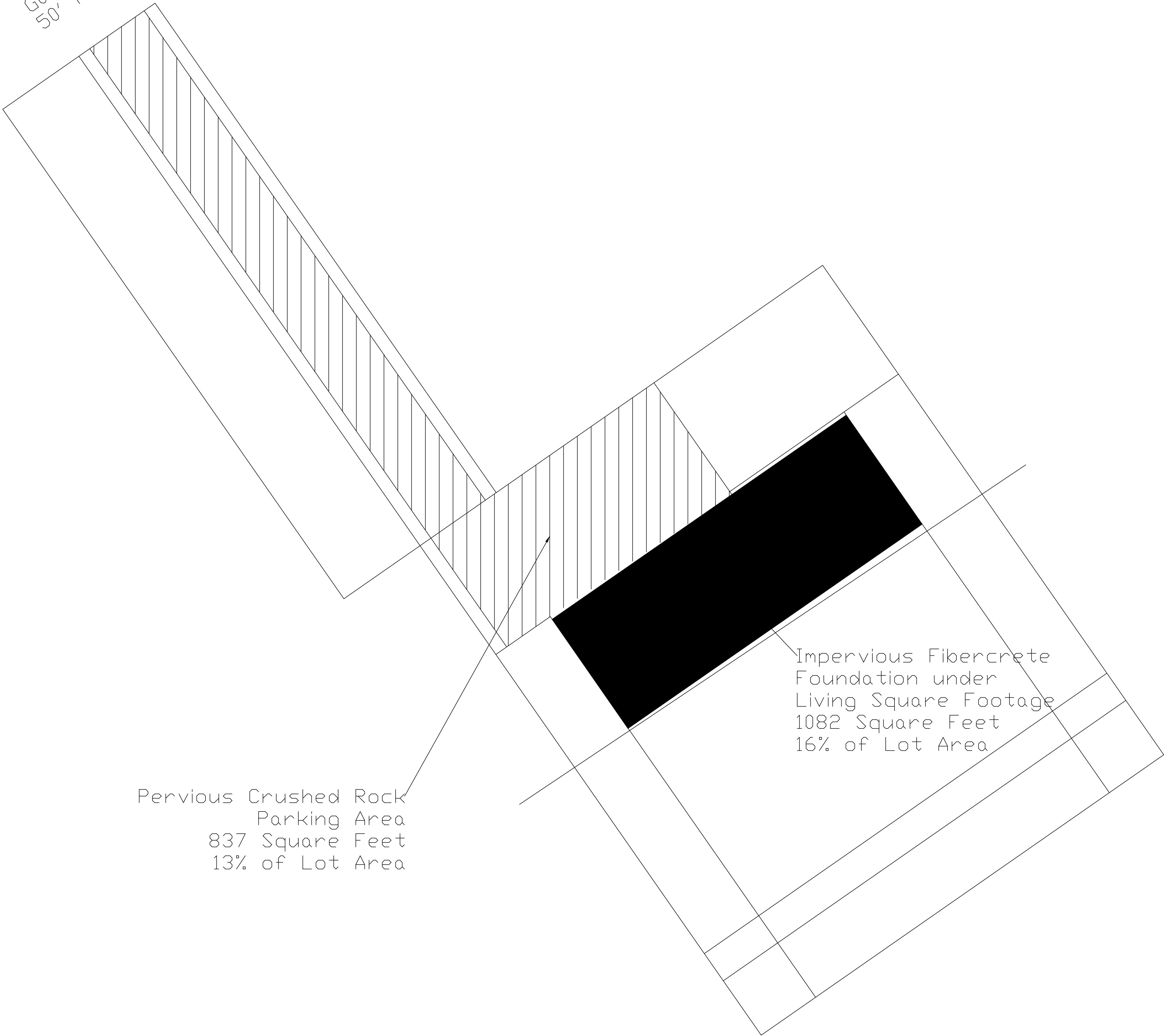
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12.17.2025

C-2

Gulf Drive
50' R.O.W.



Pervious Crushed Rock
Parking Area
837 Square Feet
13% of Lot Area

Impervious Fibercrete
Foundation under
Living Square Footage
1082 Square Feet
16% of Lot Area

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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THE DESIGN OF THESE PLANS. HOWEVER, BECAUSE THE DESIGNER DOES NOT PROVIDE ANY PERSONAL AND/OR "ON-THE-SITE" CONSULTATION AND SUPERVISION OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF VARIOUS WEATHER CONDITIONS, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES, DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN, BLUEPRINTS, OR SPECIFICATIONS. FOR SOIL AND/OR WEATHER CONDITIONS (I.E. HURRICANE, EARTHQUAKE, SNOW, ETC.), IT IS IMPERATIVE THAT YOU CONSULT A LOCAL ENGINEER OF YOUR CHOICE AND CHECK WITH YOUR LOCAL BUILDING OFFICIALS PRIOR TO START OF ACTUAL CONSTRUCTION.

THESE DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM SHELTON COMPANIES, LLC.

NOTE:

LOT CLEARING, SITE GRADING, AND FOUNDATION PREPARATIONS SHALL BE DONE IN ACCORDANCE WITH CODE REQUIREMENTS AND SUBDIVISION RESTRICTIONS. BEARING SOIL AND SITE FILL SHALL BE FREE OF ALL ORGANIC MATERIAL AND FILL SHALL BE COMPACTED TO A 95% STANDARD PROCTOR DENSITY. CONTRACTOR/BUILDER SHALL VERIFY SITE CONDITIONS AND ADEQUACY OF PROPOSED FOUNDATION DESIGN FOR THE SITE. IN WHICH IT IS TO BE CONSTRUCTED PRIOR TO CONSTRUCTION. SOIL BORING TESTS MAY BE NEEDED OR REQUIRED TO ESTABLISH ACTUAL SITE CONDITIONS. NO ON-SITE SUPERVISION, INSPECTIONS, OR TESTING IS PROVIDED BY DESIGNER. CONTRACTOR/BUILDER SHOULD CONSULT WITH AN ENGINEER TO VERIFY ALL ABOVE-MENTIONED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:

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NOTE:

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NOTE:

EXACT LOCATION & CONSTRUCTION OF TREATED DECK STAIRS MAY VARY FROM DESIGN AS IS DICTATED BY SITE CONDITIONS.

OWNERSHIP OF INSTRUMENT OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the design professional as instruments of service shall remain the property of the design professional. The design professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.



PO BOX 746 DAYTON, TX 77535

PHONE 936.257.5247

FAX 936.340.3079

Jason Johnston

23150 Gulf Drive

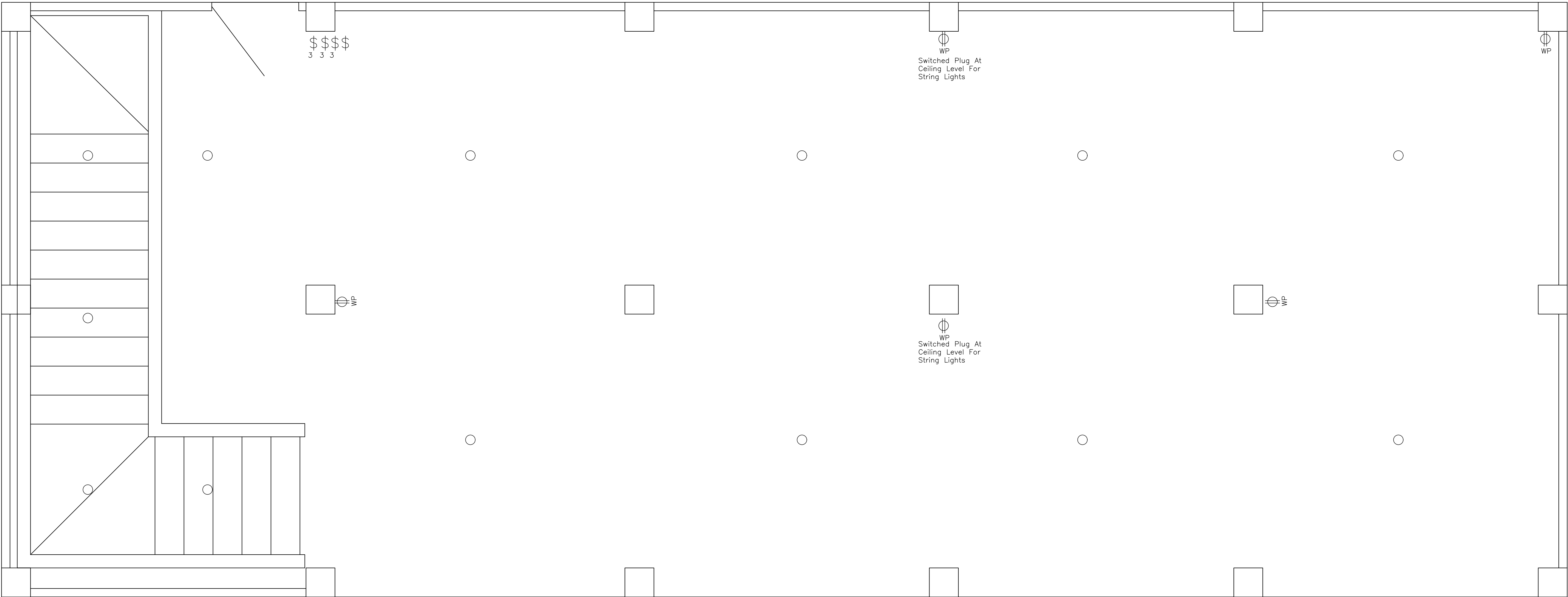
Galveston, TX 77554

SCALE AS NOTED

2760 SF Plan

12.17.2025

C-3



FOUNDATION PLAN

SCALE 1/4"=1'-0"

PLAN NOTES

INDEX

- A-1 SITE PLAN
- A-2 GROUND LEVEL PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
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PO BOX 746 DAYTON, TX 77535

PHONE 936.257.5247

FAX 936.340.3079

Jason Johnston

23150 Gulf Drive

Galveston, TX 77554

SCALE AS NOTED

2760 SF Plan

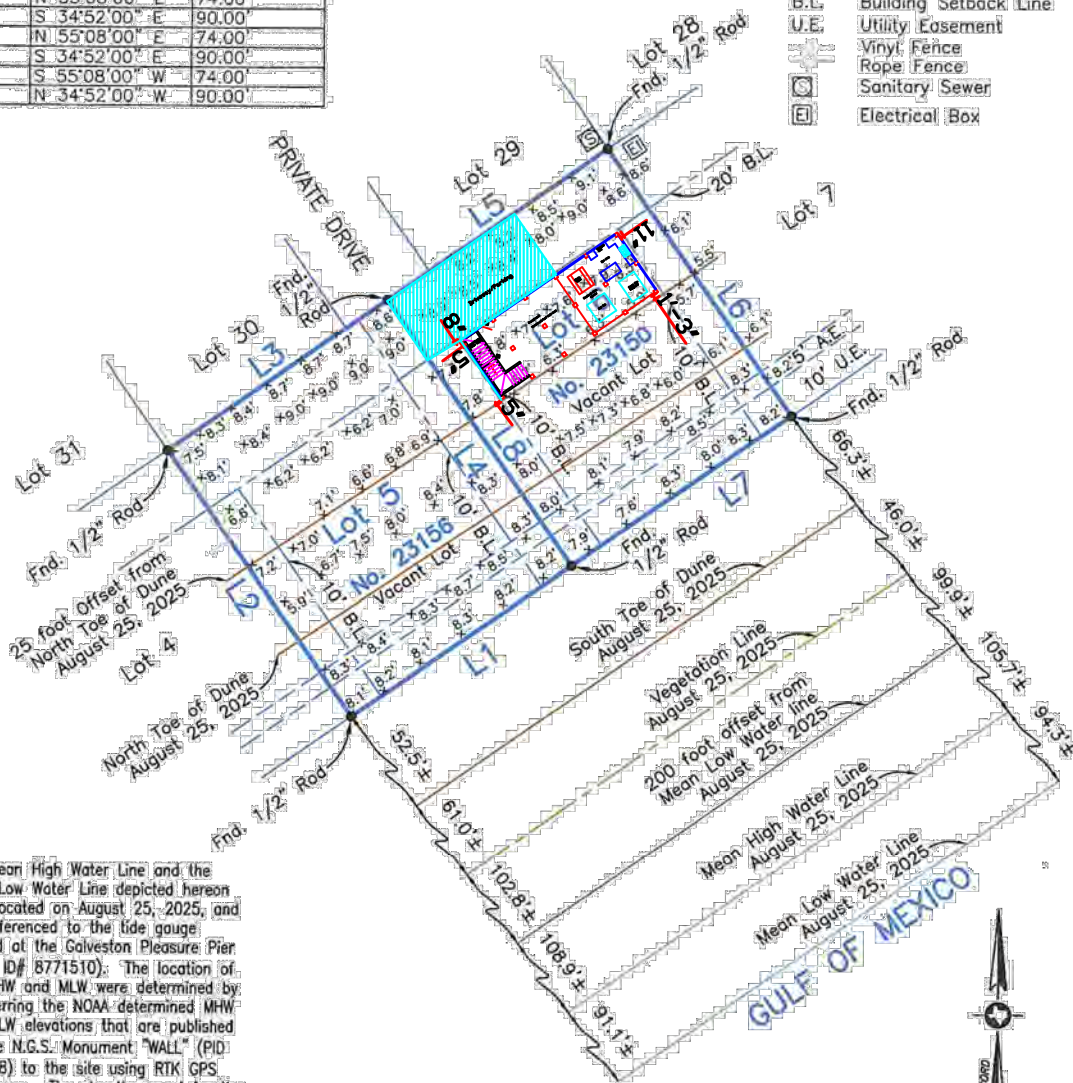
12.17.2025

A-9

LINE	BEARING	DISTANCE
L1	S 55°08'00" W	74.00'
L2	N 34°52'00" W	90.00'
L3	N 55°08'00" E	74.00'
L4	S 34°52'00" E	90.00'
L5	N 55°08'00" E	74.00'
L6	S 34°52'00" E	90.00'
L7	S 55°08'00" W	74.00'
L8	N 34°52'00" W	90.00'

LEGEND

A.E.	Overhead Aerial Easement
B.L.	Building Setback Line
U.E.	Utility Easement
	Vine Fence
	Rope Fence
	Sanitary Sewer
	Electrical Box



The Mean High Water Line and the Mean Low Water Line depicted hereon were located on August 25, 2025, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOAA ID# 8771510). The location of the MHW and MLW were determined by transferring the NOAA-determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID: AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet; the elevation used for the Mean High Water is 1.17 feet; and the elevation used for Mean Low Water is -0.30 feet.

Survey of Lots Five (5), and Six (6), of **TERRAMAR BEACH, SECTION FIVE (5)**, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 1616, Page 149 and transferred to Plat Record 9, Map No. 37, of the Map Records in the Office of the County Clerk of Galveston County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
Stephen C. Blaskey
 Registered Professional
 Land Surveyor No. 5856



SURVEY DATE: AUGUST 25, 2025
 FILE No.: 7014-0000-0006-000
 DRAFTING: AM
 JOB No.: 25-0357

GALVESTON OFFICE
 Registration Number: 10193855
 (409) 740-1517 www.hightidelandsurveying.com
 200 HOUSTON AVE. SUITE B | LEAGUE CITY, TX 77553
 Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

NOTES:

- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
- 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
- 3) Bearings based on Monumentation of the South R.O.W. line of Gulf Drive.
- 4) Deed references shown hereon are not a statement of ownership.
- 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCSO 62.
- 6) Surveyed without benefit of a Title Report.



December 8, 2025

RE: Exemption Request for 23150 Gulf Drive

To Whom It May Concern,

We are requesting an exemption for an aerial encroachment of the Dune Conservation Area on Lot 6 of Terramar Beach Section 5, 23150 Gulf Drive. We are proposing new construction of a single-family residence for the owners of the property. Part of the design includes an aerial overhang of the 25' offset line of the Dune Conservation Area of approximately 4'- 6 ¾" at its largest encroachment. The majority of the encroachment will be by open decks on the main first floor. There will be some second floor living space over the first floor overhang, it will be 12" less than the first floor.

In the course of the design, we utilized several different technologies and techniques to avoid impacting the Dune Conservation Area. Our first approach was to move the home as far northward from the DCA as possible and then to expand the width of the home to the side property lines to reduce the homes structure depth on the seaward side. We then worked with our consulting engineer to design a piling support system that could abut the landward and side building lines and utilize engineered mass timber technology to avoid placing pilings and foundation structures within the DCA. Our third movement was to transition towards a large-scale project by adding a third floor and necessary fire suppression system. This allows us to move common space, sitting deck area and other amenities to the third floor to reduce the dimensions of the available structural support system while still meeting our client's requests.

The end results are that the cantilevered deck space does not impact the ground level of the DCA. Structurally we have eliminated the need of any pilings or support structure within the DCA. At the direction of the Coastal Resources Division, we will also incorporate gutters along the seaward elevation of the home to direct rain shed from the roof lines away from the DCA. The downspouts will all be on the side elevations and terminate at the ground level landward of the first row of pilings and direct their discharge to the rear property line away from the DCA. All grading and watershed will be landward and away from the DCA.

The incorporation of these elements allows us to build the home with no adverse impacts to the DCA. During the course of construction, we will utilize additional practices and procedures to warrant that there will be no need for dune modifications or ground level encroachment on the DCA. Rigid temporary construction fencing will be placed landward of the 25' offset from the north toe of the dune across the width of the property. We have budgeted for additional crane service to lift structural components from the north side of the property to service the seaward elevations in order to eliminate the need of staging and supports in the DCA. All together the inclusion and adaptation of these design elements, practices and procedures allows for the property to be developed with no adverse impact to the DCA, leaves the dune system intact and without modification and keeps the DCA in its natural state.

Thank you,
Amy Barrington
Sheldon Companies, LLC.

* P.O. Box 746 * Dayton, Texas 77535 * Phone (936) 257-5247 *
www.SheldonHome.com

D – Site Photos

23150 Gulf Dr Site Photos

11/13/2025

NW Property Corner Looking East along N Property Line



East Property Line Looking West



West Property Line Looking East



North property Line Looking South



Line Of Vegetation Looking North



Northaast Toe of Dune Looking West



Southwest Property Corner looking West



South End of Private Drive looking North



North End of Private Drive looking South



E – GLO Comment Letter



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

April 15, 2026

Via Electronic Mail

Hunter Cummings
Deputy Coastal Resources Manager
Development Services Department
City of Galveston
3015 Market St.
Galveston, Texas 77550

Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston

Site Address: 23150 Gulf Beach Dr, Galveston
Legal Description: ABST 121 Page 13 Lot 6 Terramar Beach Sec 5
Lot Applicant: Amy Barrington – Sheldon Homes, LLC c/o Poseidens Palace LLC
Case Number: 26BF-019
GLO ID No.: BDCOG-26-0053

Dear Mr. Cummings:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes a large-scale single-family residence with fibercrete paving beneath the structure and a permeable crushed rock driveway and parking area. The proposed construction is located within 200 feet of the line of vegetation, and a portion of the proposed structure is proposed to be cantilevered over the Dune Conservation Area. According to the Bureau of Economic Geology, the area is stable. Based on the information provided to our office for review, we have the following comments.

Since the proposed construction is located partially within the Dune Conservation Area, the requirements in Section 5.4 of the City's Erosion Response Plan apply. The City should note the following:

- The City shall assess a "Fibrous Reinforced Concrete Maintenance Fee" of \$200.00 to be used to pay for the clean-up of fibrous reinforced concrete from the public beaches should the need arise.
- Driveways are required to be limited to the linear width of the primary structure, along the main street, and a minimum of 15% of the front yard must be maintained as open/unimproved area.
- For large-scale construction, financial assurance is required to fund the eventual relocation or demolition and removal of the proposed structure. Financial assurance may be provided in the form of an irrevocable letter of credit, performance bond, or other instruments acceptable to the City.

The proposed construction activities are located adjacent to the critical dune area. Any unpermitted damage to dunes and dune vegetation is in violation of the Dune Protection Act and the City of Galveston's Dune Protection and Beach Access Plan and is subject to enforcement action by the City of Galveston and the GLO, which may include administrative penalties of no less than \$50 and no more than \$2,000 per violation per day.

Please be advised that structures may not encroach on the public beach. If the structure becomes located seaward of the line of vegetation because of loss of elevation, the structure may be allowed to remain in place if it does not significantly interfere with public access to the beach or present a public health and safety risk. Structures located seaward of the line of vegetation and landward of mean high tide may be allowed to make certain repairs under the Beach/Dune rules and local government plans.

If any part of a structure comes to be located seaward of the line of mean high tide, it becomes an unauthorized structure on state-owned land. Repairs are prohibited and the state may take action to remove the structure.

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.ⁱ If you have any questions, please contact me at (512) 463-1278 or at michelle.leslie@glo.texas.gov.

Sincerely,



Michelle Leslie
Manager, Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

These are comments based on the materials provided. The citations listed may not be exhaustive. The local government is required to consider the entirety of Texas Natural Resource Code Chapters 61 and 63 and 31 Texas Administrative Code 15 when determining whether to authorize the proposed activities.ⁱⁱ

ⁱ 31 Tex. Admin. Code § 15.3(t)(5): "In the event of a material change to the site conditions or the proposed construction since approval of the original application, a local government shall require that an applicant or permittee amend an application for a permit or certificate, or obtain a new permit or certificate. All information relevant to the material changes, such as site conditions, project plans, and required changes to mitigation or compensation, must be disclosed by the applicant or permittee to the local government. The local government will submit the amended application for a permit or certificate or new application to the General Land Office for review and comment."

ⁱⁱ 31 Tex. Admin. Code § 15.3(s)(8): "When determining whether to approve a proposed activity, a local government shall review and consider: (A) the permit or certificate application; (B) the proposed activity's consistency with this subchapter and the local government's dune protection and beach access plan, including the dune protection and beachfront construction standards contained in both; (C) any other law relevant to dune protection and public beach use and access which affects the activity under review; (D) the comments of the General Land Office; and (E) any other information the local government may consider useful to determine consistency with the local government's dune protection and beach access plan, including resource information made available to them by federal and state natural resource entities and landowners immediately adjacent to the tract. A local government shall not issue a dune protection permit or beachfront construction certificate that is inconsistent with its plan, this subchapter, and other state, local, and federal laws related to the requirements of the Dune Protection Act and Open Beaches Act."



26P-019

STAFF REPORT

ADDRESS:

2922 Bernardo de Galvez / Avenue P

LEGAL DESCRIPTION:

The property is legally described as M.B. Menard Survey, West 1/2 of Lot 12 & East 1/2 of Lot 13 (3012-1), Southeast Block 64, Galveston Outlots, in the City and County of Galveston, Texas.

Applicant:

Stanton P. Bell, Jr.

Property Owner:

Stanton P. Bell, Jr.

ZONING DISTRICT:

Residential, Single-Family (R-1)

HISTORIC DISTRICT:

N/A

REQUEST:

Request for designation as a Galveston Landmark

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

A – Applicant's Submittal

STAFF:

Daniel Lunsford
 Planning Manager
 409-797-3659
 dlunsford@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
31				



Executive Summary

The applicant is requesting designation of the above referenced address, as a Galveston Landmark.

Zoning

Location	Zoning	Land Use
Subject Site	Residential, Single-Family (R-1)	Residential
North	Residential, Single-Family (R-1)	Residential
South	Residential, Single-Family (R-1)	Residential
East	Residential, Single-Family (R-1)	Residential
West	Residential, Single-Family (R-1)	Residential

As per Article 10 of the Land Development Regulations, the following criteria should be considered during the Landmark Designation review process:

Analysis

1. **The character, interest, or value as part of the development, heritage, or cultural characteristics of the City of Galveston, Galveston County, the State of Texas, or the United States.**

Completed in 1909, this Classical Revival style house was built for widow Frances O. Wiley, who lived there with her children, grandchildren, and two servants. The builder is unknown, but there are two possibilities: James K. Deats, a contractor who lived across the street; or Walter G. Tabb, who built other houses in Galveston with a similar appearance. Regardless, the house has been part of the Kempner Park neighborhood for over 115 years.

2. **Properties that are associated importantly with the lives of persons historically significant in the history of the United States, the State of Texas, or the City of Galveston.**

Frances “Fannie” Overton Wiley was born in 1852 to Judge Thomas M. Joseph and Mary Minor Trueheart. Originally from Hartford, Connecticut, Joseph settled in Galveston in 1843. Mary’s father was attorney and realtor John Overton Trueheart, an early Texas Ranger and prominent Galveston realtor; the Trueheart-Adriance building (210 22nd Street) designed by Nicholas Clayton was his real estate office.

Frances married postal clerk and Huntsville, Texas native John Keenan Wiley in 1872 at First Presbyterian Church; together they had six children. By the time Wiley became postmaster the family had relocated to Huntsville but returned again to Galveston by 1895. The home they resided in at 801 22nd Street was destroyed in the 1900 Storm, so the family once again returned briefly to Huntsville. Throughout this time Fannie worked as manager of boarding houses.

After her husband’s death Fannie commissioned the house at 2922 Avenue P; her family owned the property until around 1954. The house has been owned by multiple people and has seen several modifications since then.

3. **Retention of historic integrity, meaning that the property possesses several, and usually most, of the following aspects of integrity: location, design, setting, materials, workmanship, feeling or association.**

The Frances O. Wylie house has witnessed some changes in its lifetime, including conversion to a duplex by the Wylie family. Shortly after the Wylie family sold the house, the rear porch was enclosed and exterior stairs were added. By 2003 the house had been restored to a single-family residence; it was also improved in 1990 and renovated in 2021.

Despite alterations, the house retains a high degree of architectural integrity and remains an excellent example of Classical Revival vernacular architecture.

Financial Incentives for Historic Properties

The Frances O. Wylie house is not located in a historic district and is eligible for the Financial Incentives for Historic Properties program for new Galveston landmarks.

Other Reviews

Landmark Commission will consider the request at the May 18, 2026 meeting. City Council has the final determination for Galveston Landmark designation and will consider the request at the June 25, 2026 meeting.

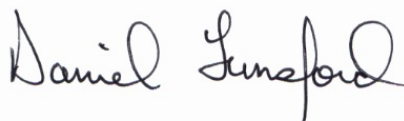
Staff Recommendation

Staff recommends approval with the following condition:

Standard Condition:

1. As with all properties containing a Historic Overlay Designation, including Landmark Designations, exterior alterations to the property will be subject to review and approval by the Landmark Commission and must conform to the Design Standards for Historic Properties of Galveston, Texas.

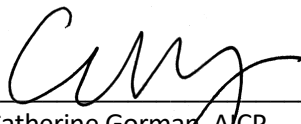
Respectfully Submitted:



Daniel Lunsford
Planning Manager

May 5, 2026

Date



Catherine Gorman, AICP
Assistant Director/ Historic Preservation Officer

May 5, 2026

Date



Frances O. Wiley House
2922 Bernardo de Galvez (Avenue P)
West part Lot 12/ East part Lot 13, Southeast Outlot 64
Built 1909

Completed in 1909, Frances Wiley contracted to build this transitional two-story house with Classical Revival features for use as her residence. The building's insurance record noted the house was elevated three feet on brick piers and included seven rooms, two halls, one bathroom, five closets and one full-width porch across the main elevation of the building supported by sets of slender Corinthian columns. The building's contractor is unconfirmed but James K. Deats, one of Galveston's leading building contractors, lived across the street (2927 Ave P, built 1905. Extant). The house also resembles other residences in the area built by Walter G. Tabb, who relocated to Galveston from Houston in 1908. The *Galveston Architecture Guidebook* identifies an entire group of houses built by Tabb (2002-2010 25th Street, and 2405-2419 Avenue P ½) that display similar form and scale as the Wiley House.

Frances "Fannie" Overton Wiley (1852-1919) was born in Galveston to Connecticut attorney, Judge Thomas M. Joseph, who served as Galveston's mayor 1857-1865, and Mary Minor Trueheart. Joseph was a native of Hartford, Connecticut, who came to Texas in 1840 and settled

in Galveston in 1843. He studied law under Judge John Baker Jones and was admitted to the bar in 1845. Before he was elected mayor, Joseph served as county judge and chief justice. In 1851, he married Mary Minor Trueheart of Louisa County, Virginia. Trueheart's father was Princeton-educated lawyer John Overton Trueheart (1802-1874), an early Texas Ranger who capitalized on land grants to charter the first realty company in Texas (1857). After Trueheart's son, Henry, entered the business their firm became the largest real estate company in the state and in 1880, they contracted with Nicholas J. Clayton to build a new office (Trueheart-Adriance Building, 212 22nd, extant).

Fannie was the oldest of eight Joseph children raised between Galveston, Chambers County, where they lived on Double Bayou during the Civil War, and their mother's native state of Virginia. When Fannie completed her education in Lexington, Virginia, she returned to Galveston and married postal clerk John Keenan Wiley (1849-1908) at First Presbyterian Church in 1872. Wiley was born in Huntsville, Texas, and resided in Austin for a short time before he came to Galveston. By 1880, the couple and their three children resided in Huntsville, where Wiley's mother served as postmaster. Wiley would later serve as the community's postmaster, holding the position for twelve years. By the time the Wileys returned to Galveston in 1895, the family had grown to include six children. When the 1900 Storm struck, they resided at 801 22nd Street (Herman Marwitz House, demolished 1969), which Fannie managed as a boarding house. The family took brief refuge in Huntsville after the storm before returning to Galveston, where Fannie resumed her position as mistress of the boarding house on 22nd Street.

After Wiley's death, Fannie commissioned to build a new residence on the 2900 block of Avenue P. The People's Loan & Homestead Company financed the house, which Fannie agreed to repay \$3,230 in 108 installments of \$30. When Fannie took possession of her new residence, her household of ten included her children, grandchildren, and two servants. After her death, her son, Andrew Parks Wiley (1879-1955), inherited the house and maintained his residence there, with his wife, Clara, and their children. As their children married and moved away, the couple divided the house into a duplex. They continued to reside there, using one apartment as their residence and leasing the second. In 1954, Wiley relocated to Dallas to live with his son. Before he moved, he sold the house to local realtor Archie Vanskike, who sold it two weeks later to marine captain Charles Kapelowitz and his wife, Thelma. Soon after they purchased the house, they enclosed a portion of the back porch and built exterior stairs. The couple utilized the house as both their residence and rental property until 1964 with subsequent owners following the same pattern. Over the years, duplex tenants have included traffic managers, military personnel, and chemical operators.

Allen Garrett Castleschouldt Sr., and wife, Katherine Lee, purchased the Wiley House in 1964. In 1990, their son contracted for \$13,000 in improvements to the house and by 2003, use of the

building as a single-family residence was restored. Robert and Wendy Bowerman purchased the Wiley House in 2021 and rehabilitated the building, preserving original features including the hardwood floors, interior millwork and windows. After the current owner purchased the house in 2022 they added brick sidewalks, fencing and modified the first floor to accommodate additional closets. The Wiley House is located in the predominately residential neighborhood of Kempner Park, which extends from 23rd to 35th Streets (east, west) and Avenue M to Seawall (north, south). Development began in earnest after completion of the grade-raising that followed the 1900 Storm and as such, the area contains a variety of architectural styles as well as the two oldest surviving residences in Galveston, built by city founders Michel B. Menard (1605 33rd Street, built 1838, extant) and Samuel May Williams (3605 Avenue P, built 1839, extant).

*Researched and written by
Jami Durham, Galveston Historical Foundation
April 2026*

ATTACHMENTS

- A. CHAIN OF TITLE, 2922 Bernardo de Galveston (Avenue P)
- B. SANBORN FIRE INSURANCE MAPS, Lots 12-13/ Southeast Outlot 64
- C. GALVESTON CITY DIRECTORY Listings, 2922 Bernardo de Galveston (Avenue P)

A. CHAIN OF TITLE, 2922 Bernardo de Galvez (Avenue P)

Frances O. Wiley, July 1909 (Galveston County Deed Records, Book 234 Page 276)

Wiley purchased the lot(s) in February 1909 for \$1,200. Seller was John E. Pearce.

In July 1918, the People's Loan & Homestead Company released the property to Wiley.

Andrew Parks Wiley, August 1919, upon death of mother.

Archie C. Vanskike, January 19, 1954 (B1031, P205)

Charles and Thelma Kapelowitz, January 27, 1954 (B1031, P207)

Allen G., Sr. and Katherine L. Castleschouldt, March 1964 (B1611 P480)

Katherine Lee Castleschouldt, February 1966 (B1761 P393)

A. G. Castleschouldt Jr., June 1986 (Ref. No. 004-59-2476, Doc. 8620448)

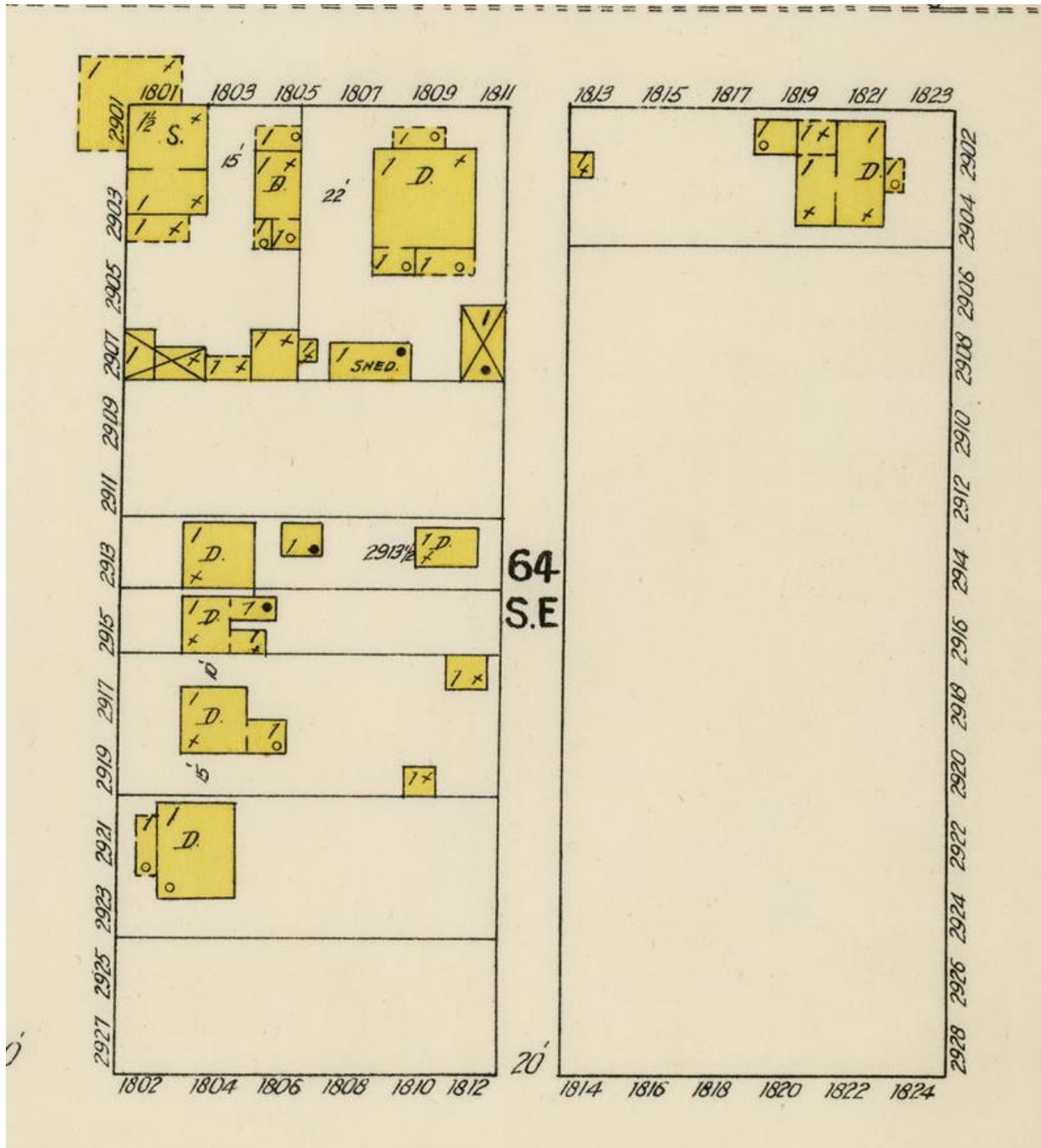
Eloisa Wood, November 2003 (Ref. No. 019-59-1000, Doc. 2003084934)

Robert and Wendy Bowerman, June 2021 (Doc. 2021044404)

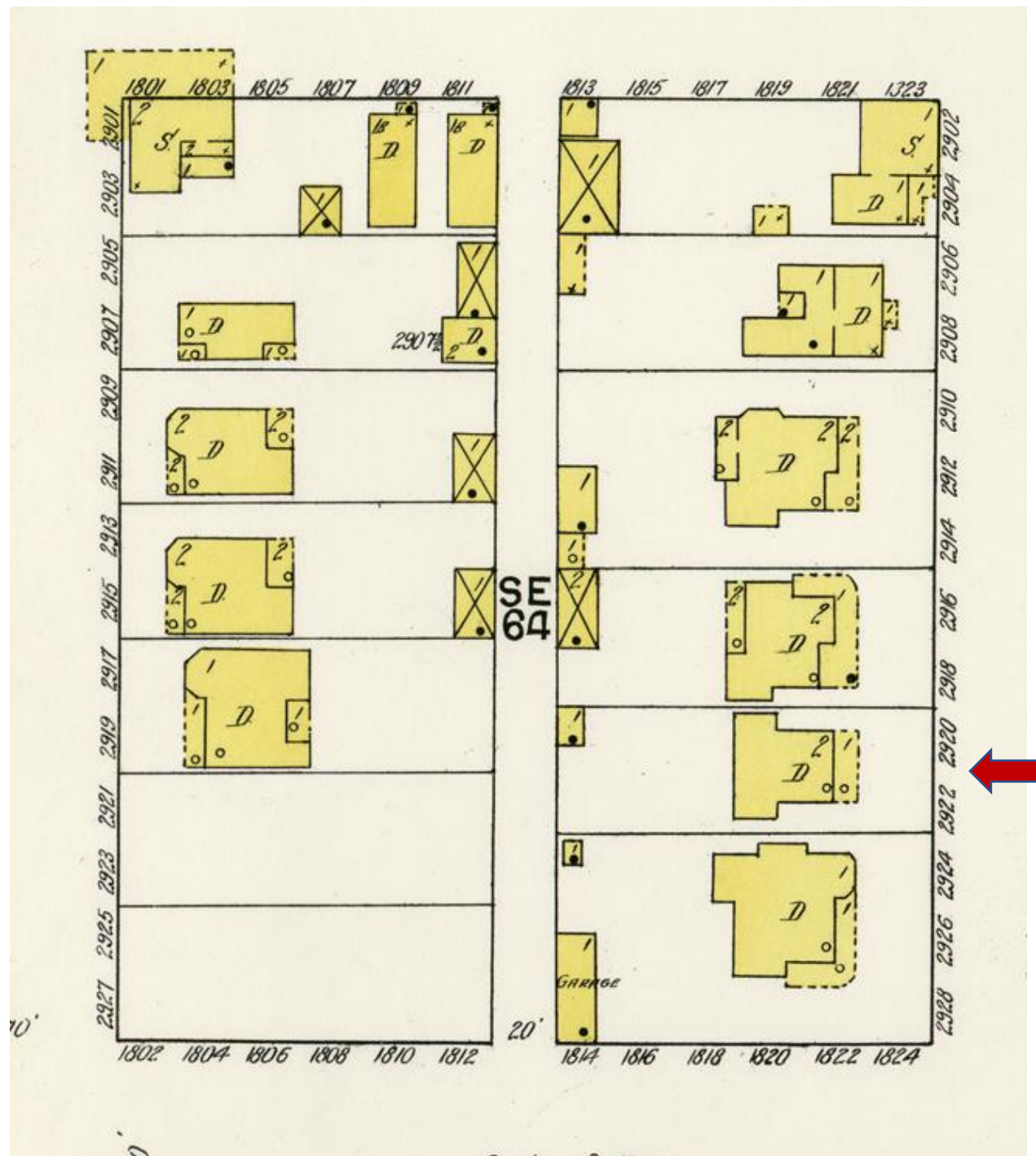
Current, Stanton P. Bell Jr., October 2022 (Doc. 2022064157)

B. SANBORN FIRE INSURANCE MAPS, Southeast Outlot 64, lots 12-13

1899. The 1899 maps recorded the south side of Outlot 64, southeast quarter (fronting Avenue P), void of buildings. The exception was lot eight, which supported a one-story frame dwelling (2902 Ave P).

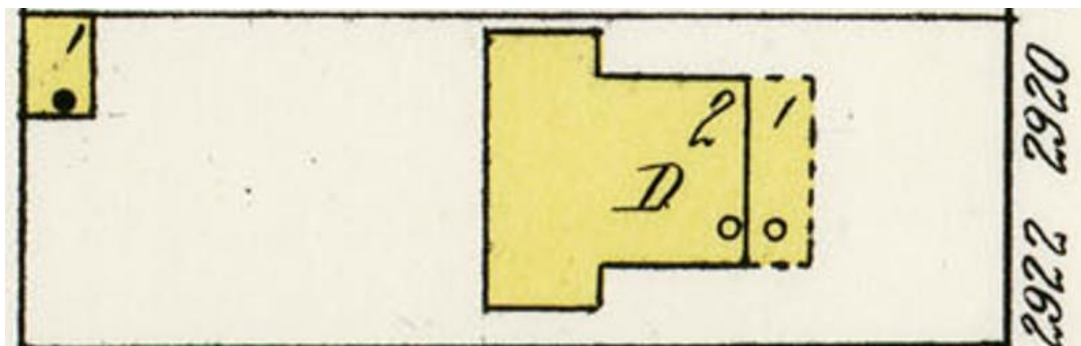


1912. Post 1900 Storm, the 1912 map recorded new construction on the block, including the Wiley House at 2922 Avenue P (identified with arrow).

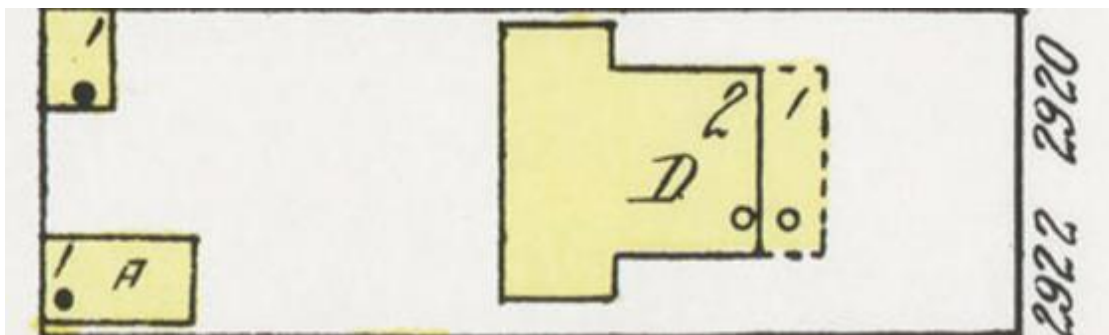


The footprint of the house depicted on the 1912 map recorded a two-story frame house with one porch- a one-story full width porch across the main elevation. The footprint of the building remained consistent on subsequent maps published in 1947 and 1985. The 1912 map also recorded a small one-story frame accessory building on the northeast corner of the lot, likely used as a shed. The small accessory building remained in 1947 when maps also recorded a one-story frame automobile garage on the northwest corner of the lot. By 1985, the automobile garage was the only accessory building that remained on the lot. The existing back porch was likely part of the improvements made to the building in 1990 as no evidence of a back porch was revealed on maps 1912-1985.

1912



1947



1985



C. GALVESTON CITY DIRECTORY Listings, 2922 Avenue P

1909-1910

Fannie O. Wiley (wid John K.), r. 2922 P. 2. Phone 2738
Andrew P. Wiley, check clerk Southern Pacific wharf, r. 2922 P. 4.
John K. Wiley, clerk Southern Pacific wharf, r. 2922 P
Miss Kate E. Wiley, teacher Bath ave school, h. 2922 P
Lee G. Wiley, chief clerk H. W. Pierce, h. 2922 P
Joseph T. Wiley, h. 2922 P

1914

Fannie O. Wiley (wid John K.), r. 2922 Ave P
Andrew P. Wiley, clerk Southern Pacific Atlantic steamship lines, h. 2922 Ave P. 5
John K. Wiley, clerk J. E. Pearce Contg & Stevedoring Co., h. 2922 Ave P
Miss Kate E. Wiley, teacher Sam Houston public school, h. 2922 Ave P

1919

Andrew P. Wiley (Clara E.), clerk, r. 2922 Av P
Miss Kate E. Wiley, teacher Sam Houston public school, h. 2922 Av P
Fannie residing with daughter Mary- Mrs. Claude W. Gary- at 2524 Av O ½, where she died.

1924-1925

Andrew P. Wiley (Clara), r. 2922 Av P
Mrs. Clara Wiley, clerk Galveston Ice Cream Co., h. 2922 Av P
Miss Iona A Wiley, h, 2922 Av P
Miss Kate Wiley, h. 2922 Av P

1932

Andrew P. Wiley (Clara M), Miramar Grocery, h. 2922 Avenue P
Andrew P. Wiley Jr. r. 2922 Avenue P
Charles B. Wiley, r. 2922 Avenue P

1939

Andrew P. Wiley (Clara M), Miramar Grocery, h. 2922 Avenue P
Mrs. Clara Wiley, dist mgr Avon-California Perfume Co Inc, r. 2922 Avenue P
Malcolm C. Shand (Clover), traffic mgr Wiley & Nichols Co, h. 2922 Avenue P

1945

Andrew P. Wiley (Clara M), mgr Miramar Court store, h. 2922 Av P
Mrs. Clara Wiley, local mgr Avon-California Perfume Co Inc, r. 2922 Av P
Malcolm C. Shand (Clover), agt, h. 2922 Avenue P

1951

Andrew P. Wiley, h. 2922 Av P
James D. O'Daniel (Fern), chemical operator, h. rear 2922 Avenue P

1954

Charles Kapelowitz (Thelma C) ship captain, h. 2922 Av P

1960

Charles Kapelowitz (Thelma) captain National Bulk Carriers,, h. 2922 Avenue P
Joseph S. Peeples (Della), USMM, h. 2922 ½ Avenue P

1968

Katherine L. Castleschouldt, cashier St. Mary's school, h. 2922 Avenue P
Only one occupant, Castleschouldt, listed in the cross directory.

1975

Katherine L. Castleschouldt, unit clerk UTMB, h. 2922 Avenue P
Only one occupant, Castleschouldt, listed in the cross directory.

1980

Katherine L. Castleschouldt, unit clerk UTMB, h. 2922 Avenue P
Allen G, Castleschouldt Jr., mail clerk UTMB, h. 2922 Avenue P
Kathy A. Castleschouldt, clerk UTMB, h. 2922 Avenue P

1985

Katherine L. Castleschouldt, unit clerk UTMB, h. 2922 Avenue P
Allen G, Castleschouldt Jr., mail clerk UTMB, h. 2922 Avenue P
Kathy A. Castleschouldt, clerk UTMB, h. 2922 Avenue P

1991-1996

2922 Avenue P not included in cross directories, indicating it may have been vacant or tenants did not return the city directory card for inclusion.



26P-021

STAFF REPORT

ADDRESS:

902 16th Street

LEGAL DESCRIPTION:

Property is legally described as M.B. Menard Survey, Lots 1 and 2, Block 195, in the City and County of Galveston Texas

APPLICANT/REPRESENTATIVE:

Bryan Fagan, Fagan Realty Group, LLC

PROPERTY OWNER:

Linda Jean Kenney

ZONING:

Residential, Single-Family, Historic District (R-3-H)

REQUEST:

Planned Unit Development (PUD)

APPLICABLE ZONING LAND USE

REGULATIONS:

Article 4 of the Land Development Regulations (LDR); Article 12 of the Land Development Regulations (LDR)

STAFF RECOMMENDATION:

Denial

EXHIBITS:

- A – Zoning Map
- B – Narrative / PUD Plan

STAFF:

Catherine Gorman, AICP
Assistant Director/HPO
409-797-3665
cgorman@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
25				

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department Notification Responses:

Airport: No Objection
Building Division: No Objection
Coastal Resources: No Objection
Fire Marshal: No Objection
Fire Chief: No Objection
Police Chief: No Objection
Public Works: No Objection

Private Utilities Notification Responses:

AT&T: No Objection
Comcast: No Objection
CenterPoint Energy: No Objection
Texas Gas Service: No Objection



Executive Summary

The request is for a Planned Unit Development in order to use the property as an “Office” land use. The proposal is to use the entire structure for a law office. The first floor would be used as reception, common, and conference space. The second and third floors would be office space for approximately eight staff members. The property is zoned Residential, Single-Family (R-3) which does not allow for an “Office” land use. The requested deviations from the Land Development Regulations (LDR) requested are as follows:

- a) deviate from Table 2.201 of the Land Development Regulations, which prohibits “Office” land use; and
- b) deviate from Table 5.110 of the Land Development Regulations, which limits signage to one Name Plate with a maximum square footage of two square feet.

Site Details

The site consists of two lots located at the southeast corner of the intersection of 16th Street and Sealy / Avenue I. The total area of the site is 10,280 square feet. The existing structure was built in 1908 for Morris Stern, a Galveston wholesale grocer, and is an example of the Colonial Revival style. The house is a contributing structure to the East End Historic District.

Ability of the Property to be used under Current Zoning

The land use “Office” is a prohibited land use in the Residential, Single-Family (R-3) zoning district. The PUD request is to deviate from Table 2.201 of the Land Development Regulations to allow for Office land use. In addition, signage is R-3 zoning is quite restrictive and only allows one name plate with a maximum size of two square feet.

Compatibility with Base and Surrounding Zoning and Land Uses

Staff finds the request is not compatible with the base zone or surrounding zoning and land uses. The base zone, and surrounding zoning, is Residential, Single-Family (R-3). Per Division 1.300 of the LDR, the purpose of the R-3 district is to preserve the residential uses found in the City’s historic districts. The request is to utilize the entire house as an office, removing the residential use at this site.

Note that at this time the applicant is not proposing any changes to the site or structure which require Landmark Commission review.

PUD Details /Development Plan

The purpose or intent of the PUD	The purpose of the PUD is to allow for use of the property as an “Office” and to allow for a four square-foot sign.
Building Height	The existing structure has existed since 1908. No changes to building height are proposed.
Building Setbacks	The applicant is not proposing to deviate from setback requirements.
Limits of Construction	There are minimal proposed changes to the existing structures, including exterior painting and railings and a ramp as needed for ADA compliance.

Vehicular Parking	One off-site space per 1,500 square feet is required for commercial land uses in the Residential, Single-Family (R-3) zoning district. The structure is 4,324 square feet with a parking requirement of three spaces. The applicant's narrative indicates that there are two parking spaces in the existing garage and additional spaces available in the circular driveway. The applicant's narrative notes that the parking requirement is one space for each 300 square feet of floor area. That is the requirement in some other zoning districts but does not apply in the Residential, Single-Family (R-3) zoning district.
Pedestrian Access	Existing sidewalks are located along 16 th Street and Sealy/Avenue I. No changes to pedestrian access are proposed.
Streets and Circulation	Existing off-street parking as described above is accessed via 16 th Street. The garage access is from Sealy/Avenue I. No changes to street access are proposed.
Screening and Landscape	There are no required landscaping requirements associated with this request. Existing landscaping is to remain unchanged.
Signage	The applicant is proposing a single 24" x 24" (4 square feet) sign to be mounted on the left column of the existing entry gate facing 16 th Street. No specific sign design was provided; however, sign design must conform to the Design Standards for Historic Properties and will be reviewed during the permitting process.
Lighting	Site lighting shall conform to Article 7 of the Land Development Regulations and shall be reviewed during the permitting process.
Phasing or Scheduling	The project will be completed in a single phase after permitting.
Unique characteristics or exceptional circumstances	Please see Exhibit B for the Applicant's Narrative.

Criteria for Approval

According to Division 13.601 (C) of the Land Development Regulations, the Planning Commission may recommend approval, and City Council may grant the approval of a rezoning request if it is demonstrated that:

1. The proposed zoning is preferable to the existing zoning in terms of its likelihood of advancing the goals, objectives, and policies of the City of Galveston 2011 Comprehensive Plan and other adopted neighborhood plans, special area plans, redevelopment plans, or other plans applicable to the area;

2. The proposed zoning is consistent with the future land use map of the City of Galveston 2011 Comprehensive Plan (a future land use map amendment may be processed concurrently with the rezoning);
3. The proposed change is consistent with the implementation of existing or pending plans for providing streets, water and wastewater, other utilities, and the delivery of public services to the area in which the parcel proposed for rezoning is located;
4. The range of uses and the character of development that is allowed by the proposed zone will be compatible with the properties in the immediate vicinity of the parcel proposed for rezoning, and the parcel proposed for rezoning has sufficient dimensions to accommodate reasonable development that complies with the requirements of these Regulations including parking and buffering requirements; and
5. The pace of development and/or the amount of vacant land currently zoned for comparable development in the vicinity suggests a need for the proposed rezoning in order to ensure an appropriate inventory of land to maintain a competitive land market that promotes economic development.

Conformance

Staff finds that the request does not conform to the criteria for Planned Unit Developments (PUDs) in the City of Galveston. A PUD is designed to be used in conjunction with a designated base zoning district. Use standards and requirements of the specified base district shall apply unless specifically superseded by the standards and requirements of the PUD Development Plan. In the case of this PUD, the proposed land use of "Office" would have a negative impact of the residential use and character of the neighborhood as the residential use would be eliminated and replaced with a commercial land use. The prominent land use pattern in the area is residential with commercial uses located on commercial corridors such as 14th Street and individual buildings designed for commercial use, such as corner stores. The subject property is residential in design. Introduction of this more intensive non-residential use may result in increased traffic and parking activity and erosion of the area's residential character.

Other Reviews

The Landmark Commission will hear this request at the May 18, 2026 regular meeting. City Council has the final decision regarding the request for a Planned Unit Development. The request will be heard at the regular meeting of June 25, 2026.

Staff Recommendation

Due to nonconformance with the Criteria for Approval, Staff recommends denial of the request.

However, should the Planning Commission find that the request conforms to the Criteria for Approval, the following conditions may be appropriate:

Specific Conditions:

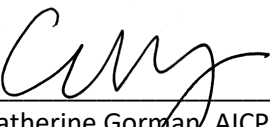
1. Granting of a PUD zoning district shall not relieve the developer from complying with all other applicable sections of the Land Development Regulations (LDR), and other Codes and Ordinances of the City of Galveston, unless such relief is specified in the approved PUD plan and PUD ordinance. Relief provided by this PUD plan includes:

- a. to allow a "Office" land use in a base Single-Family Residential (R-3) zoning district;
 - b. to allow one flat wall sign for a total square footage of four square feet;
2. The hours of operation shall be restricted to 8:00am to 6:00pm, Monday through Friday. Evening and weekend business activity shall be prohibited;
3. The site has a non-compliant masonry fence located on 16th Street. The fence shall be brought into conformance by reducing the height prior to the issuance of a Certificate of Occupancy;
4. The development must conform to the site plan and design details included with the PUD application and ordinance;
5. A building permit(s) and/or Certificate of Occupancy for the project shall be issued no later than 24-months from the date of City Council approval and shall proceed in accordance with Ordinance 20-008, Timeframe for Permits for Construction Activity;
6. There shall be no nuisance created or cause any perceptible noise, odor, smoke, electrical interference, or vibrations that constitute a public or private nuisance to neighboring properties;

Standard Conditions of a Planned Unit Development (PUD):

7. The applicant shall adhere to all comments/conditions received from City departments;
8. Any change or revisions to the adopted PUD Plan shall require an amendment to the PUD ordinance, which requires review by the Planning Commission and City Council. Minor additions and modifications to the approved PUD plan meeting the criteria set forth in Article 4, Section 4.102 (d)(3) of the Land Development Regulations (LDR) may be approved by the Development Services Department; and,
9. The applicant shall submit for approval all plans to the Development Services Department for compliance with all City codes.

Respectfully Submitted,



Catherine Gorman, AICP
Assistant Director/HPO

05/12/2026

Date

Printed on: 05/07/2026
By: City of Galveston
 Development Services Department

Source Credits:
 City of Galveston, USGS, et al. - Basemap
 Galveston Central Appraisal District (GCAD) -
 Street Centerlines & Parcels
 GCAD & Pictometry - 2020 Aerial; City of Galveston -
 Landmarks, Historic Districts, Zoning Overlays, &
 Zoning Districts


 1 in = 83 feet
 Feet
 0 80

Coordinate System: NAD 1983 StatePlane
 Texas South Central FIPS 4204 Feet
Units: Foot US

 Residential, Single-Family, Historic District (R-3)
 Parcels
Image
RGB
 Red: Band_1
 Green: Band_2
 Blue: Band_3



April 16th 2026

Fagan Planned Unit Development.

902 16th St

Galveston, TX 77550

Description:

The property consists of two (2) standard city lots. Lot one- (43'-0" x 120'-0") and lot two- (42'-10" x 120'-0") The property is located on the corner of Sealy Ave and 16th st, one block north of Broadway Ave J, also known as Texas State Highway 87. The main structure of the property is a three-story home built in 1907 for Morris Stern. The primary structure is located on the eastern most portion of the property and includes a guest structure to the south east of approximately 340 square feet as indicated in the attached survey. The primary structure consists of 1,946 square feet on the first floor, 2,058 on the second floor, and 320 feet on the third floor excluding porches and garage space. There have been subsequent additions to the property including the aforementioned guest structure, patios, and a pool. The home currently has a single car garage (two vehicles deep), a single-wide driveway that will fit one car, a "pull-through or semi/circular" style driveway that enters from the south on 16th St and exits to the north on Sealy Ave that can accommodate 5 employee cars.

The owner wishes to utilize the entirety of the structure as a professional family law office under the name, Bryan Fagan Law. The first floor would be used as reception, common, and conference space. The upper two floors would serve as office space to the approximately 8 attorneys and paralegals employed for this Galveston County location. There are approximately 186 usable linear feet (can accommodate up to 8 vehicles at 22' of parallel parking ea) of parking space surrounding the property with double wide streets. Parking is also optional on the opposite side of the street on 16th St. Street parking would not impede the flow of traffic on 16th St nor on Sealy Ave. There is also a public park on the corner of Broadway and 16th St that would also provide additional street parking if needed. Operations by the law office would not cause an intrusion on the neighboring properties for parking. There are no multi-axle vehicles that would need to be parked at the property for function of the business. The property shares one direct neighbor at 1517 Sealy Avenue. There would be no renovations to the property at this time with the exception of exterior paint updates, railings needed for ADA compliance, and a ramp for wheelchair or limited mobility access. Bryan Fagan Law intends to preserve the historic nature of the property and will remain steadfast in working with the City's Historical Society to obtain approvals for any work to be completed.

The law office will have moderate client activity through the day, however it is important to note that the firm's primary office is located at 3707 Cypress Creek Pkwy # 400, Houston, TX 77068. While this location will serve as a Galveston County Satellite office the company's primary office and operations will continue to exist out of the Cypress Creek Parkway Location. The firm will not receive more deliveries than a typical residential home.

Clients visiting the law firm will enter through the main entrance of the structure on 16th St. The front lawn areas are gated by an ornamental garden fence and the back yard pool structure is completely walled off by a 10' Cinderblock fence. The neighboring structure has a typical 6' wooden fence adjacent to the subject property.

The property is currently zoned RESIDENTIAL with a Historic Overlay. This zoning restricts the owner to only home office and it does not allow the owner to have on site employees.

Within walking distance on Broadway you will find numerous Churches, a dermatology office, an Assisted living community and various other small businesses with Commercial or Mixed Use Zoning (Office Use Permitted)

Land Area:

Minimum land area requirements for a Planned Unit Development is 10,000 square feet. The site is 10,320 square feet.

Building Height:

The existing 1906 Morris Stern Home is existing. This is the maximum height for construction on the site.

Setbacks:

Setback along 16th Street shall align with the existing facade of the Morris Stern House (36' from the west curb)

Setback along Sealy Street shall align with the existing façade of the Morris Stern House (25'8" from the north curb)

Setbacks from the east and south (alley) property lines shall be as currently allowed under R-3 zoning for the side and rear, 0 feet from the property line

Building FEMA Elevation:

The existing structures pre-date current FEMA flood elevation requirements and will remain. Future alterations to the existing structures will comply with current requirements as they apply to existing construction. New construction will comply with current FEMA elevation requirements as amended by the City of Galveston.

Site Lighting:

New site lighting shall comply with site lighting requirements established for the surrounding R-3-H zoning.

Parking Requirements:

Office (4,324 square feet/300 square feet)	14.5 spaces
Total Parking required	14.5 spaces

Total Parking available
(8 street, 5 circular drive, 1 driveway, 2 garage- 16 spaces

Streets and Sidewalks

There are no private or public streets within the site. The property is served by the existing 13th Street, Market Street, and the public alley. The off-street parking is accessed from the existing asphalt paved public alley.

There are existing public sidewalks along 16th Street and Sealy Ave within the city right-of-way. There are existing private paved sidewalks within the property that provide access in and around the site.

Environmental Impacts:

No known or intended environmental impacts will be caused by the operations of the lawfirm.

Screening and Landscaping

The law firm intends to maintain and enhance the beautification of the Morris Stern Home by cleaning up the current landscaping. Fencing currently exists on the front of the property at the property line but is ornamental in nature. There is permanent concrete fencing around the pool/rear space adjacent to the alleyway that measures approximately 9-10' in total height.

Utilities

The water and sanitary sewer are existing and provided by the City of Galveston via the existing public alley. Electrical service is provided via CenterPoint utilities through the existing public alley. Communication services including AT&T and Comcast also are provided from the alley.

Easements

The publicly maintained utilities are within the existing 20-foot-wide public alley.

PUD Garbage Collection

Trash collection is provided by the City of Galveston in the public alley.

PUD Common Areas and Facilities

There is no property owner's association. There is a single property owner. Maintenance and operation of the site amenities will be the sole responsibility of the single property owner.

Signage

A sign stating the law firm name is requested to be allowed to be placed on the left column of the existing entry gate. (refer to Photo 13) The sign will not exceed 24" x 24" in size. The sign will not be internally lit or back lit. We are open to City Guidance or recommendation on signage

Historic:

The Planned Unit Development would retain and be subject to the City of Galveston Historic overlay requirements/guidelines for renovations to the existing exteriors and for new construction.



Photo 1- 16th St Front Elevation



Photo 2 - From the NW Corner of 16th and Sealy Ave Looking SE



Photo 3- From Sealy Ave- Looking South



Photo 4- Looking South at the Morris Stern Garage and side driveway. The garage is two car lengths deep and the driveway could provide parking space for up to 2 vehicles.



Photo 5- Depicts The gated side entry located on the North side of property off Sealy Ave.

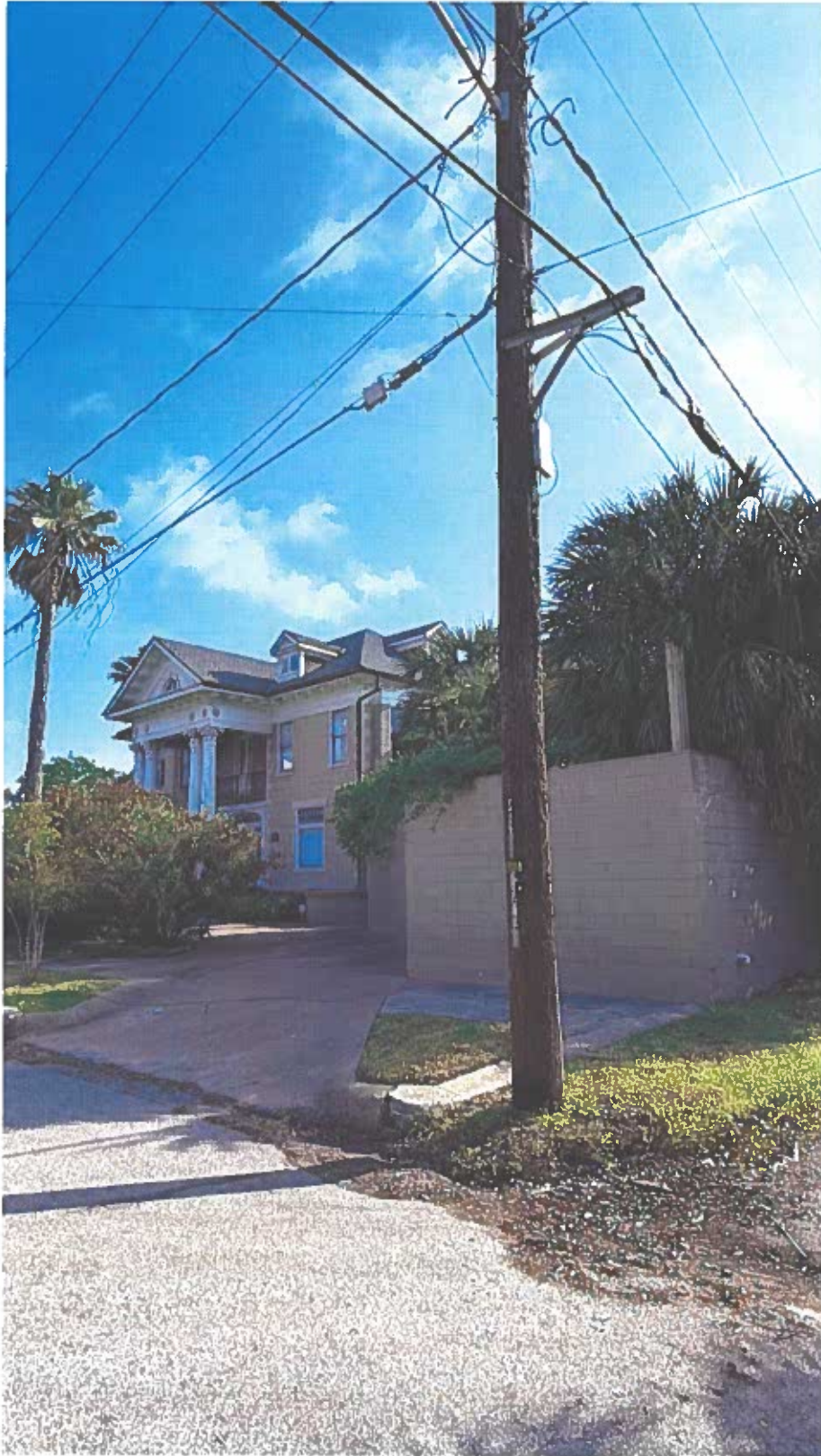


Photo 6- From South West corner of the property at the alley way



Photo 7- Property View Looking South towards Broadway on 16th



Photo 8- Image of the interior of the garage that could be cleared to offer two parking spaces to the staff



Photo 9- Photo of the pool looking west towards the Alley and 16th St.



Photo 10- Image of the property looking east towards neighboring property at 1517 Sealy



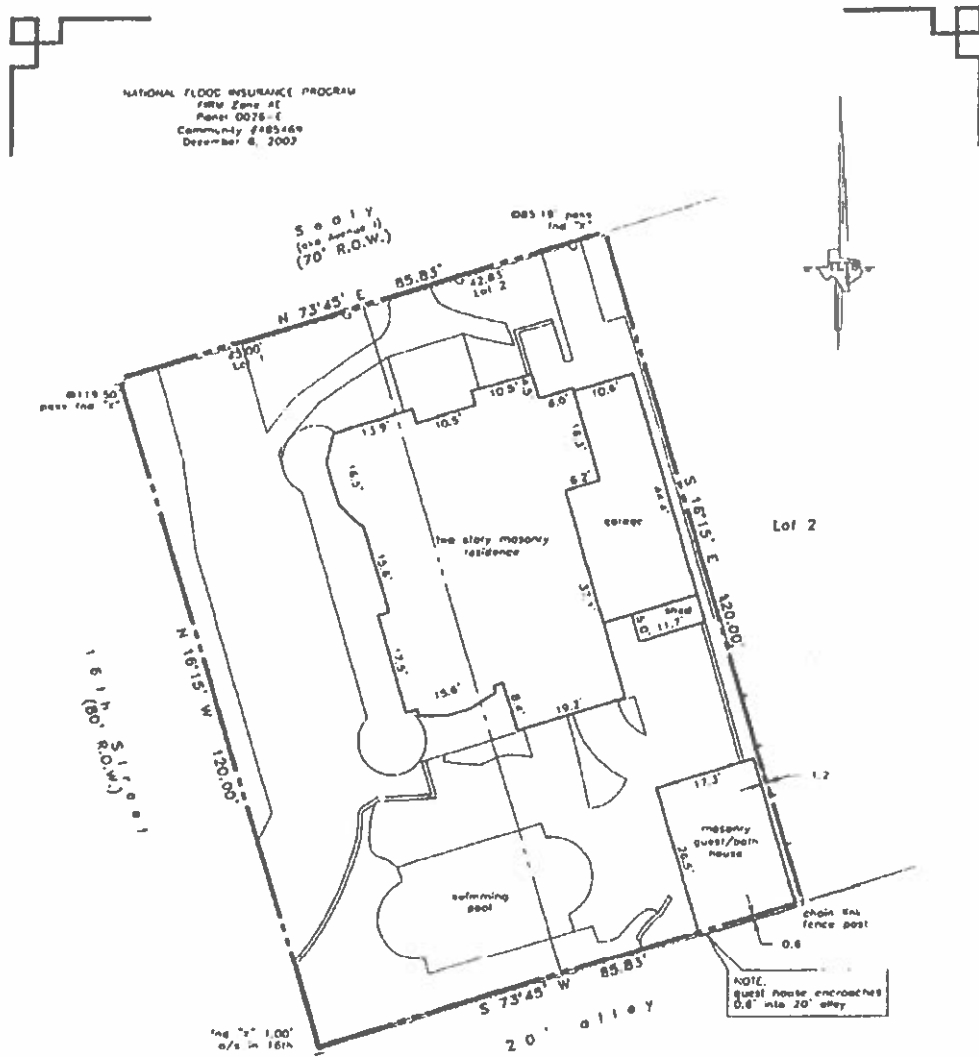
Photo 11- Another View of the back yard looking North towards the Alley



Photo 12- View from the east of the back yard looking West towards 16th st.



Photo 13- View from Directly Across the Street on 16th St. Looking East at the Morris Stern Home. Affixed to the gate or in another area close to the front of the Morris Stern Home,, the law firm would like to post a 2'x2' sign with the law firm's name. The sign will not be backlit.



- NOTES:
- True ground distances shown
 - Plat & bearings refer to "Plan of COG, Sandusky, 1815"
 - Survey monuments rechecked w/ numerous previous surveys

**LAND TITLE SURVEY OF A TRACT OF LAND
being Lots 1 and 2, In Block 195, in the
City and County of Galveston, Texas.**

Subject property: 902 16th Street
Galveston County, Texas
To Andrew Crispin, Shanna Flynn and
South-Land Title Co., GP #WE1322328:
I hereby certify that this survey was made on the
ground under my direct supervision and that this
plat correctly represents the facts found at the time
of the survey.



Laurence C. Wolf
RPLS #4814
December 19, 2013



TLTS, Inc.
TEXAS LAND TITLE SURVEYORS
1801 Moody Avenue
Galveston, Texas 77550
(409) 763-6883

U.S. DEPARTMENT OF HOMELAND SECURITY
FEDERAL EMERGENCY MANAGEMENT AGENCY
National Flood Insurance Program

ELEVATION CERTIFICATE

IMPORTANT: Follow the instructions on pages 1-9.

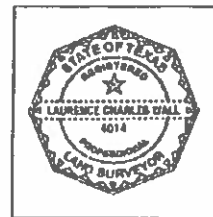
OMB No. 1660-0008
Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION		FOR INSURANCE COMPANY USE	
A1. Building Owners Name	Andrew Crispin & Shawna Flynn	Policy Number	
A2. Building Street Address	902 16th Street	Company NAIC Number	
City	Galveston	State	TX
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)	Lots 1 & 2 Block 195 City of Galveston	ZIP Code	77550
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)	residential		
A5. Latitude/Longitude: Lat. 29° 18' 10.85" N Long. 94° 47' 02.15" W		Horizontal Datum:	☐ NAD 1927 ☐ NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number	1B		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:	
a) Square footage of crawlspace or enclosure(s)	N/A sq ft	a) Square footage of attached garage	561 sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade	N/A	b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade	0
c) Total net area of flood openings in A8.b	N/A sq in	c) Total net area of flood openings in A9.b	0 sq in
d) Engineered flood openings? ☐ Yes ☐ No		d) Engineered flood openings? ☐ Yes ☐ No	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. FIRM Community Name	City of Galveston 485469	B2. County Name	Galveston	B3. State	TX
B4. Map/Panel Number	4854690026	B5. Suffix	E	B6. FIRM Index Date	12/6/02
B7. FIRM Panel Effective/Revised Date	12/6/02	B8. Flood Zone(s)	AE	B9. Base Flood Elevation(s) (Zone A0, use base flood depth)	11
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item B9: ☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other/Source: _____					
B11. Indicate elevation datum used for BFE in item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date: _____ / _____ / _____ ☐ CBRS ☐ OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on:	☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AQ. Complete items C2.a-h below according to the building diagram specified in item A7. In Puerto Rico only, enter meters.	
Benchmark Utilized:	COG BM
Vertical Datum:	NAVD 88
Indicate elevation datum used for the elevations in items a) through h) below. ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____	
Datum used for building elevations must be the same as that used for the BFE.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	12.2 feet
b) Top of the next higher floor	21.2 feet
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A feet
d) Attached garage (top of slab)	8.8 feet
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	12.2 feet
f) Lowest adjacent (finished) grade next to building (LAG)	8.4 feet
g) Highest adjacent (finished) grade next to building (HAG)	8.6 feet
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	8.4 feet

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
☒ Check here if comments are provided on back of form.	Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No
☒ Check here if attachments (pictures)	License Number 4814
First Name	Laurence C. Wall
Last Name	RPLS
Address	1801 Moody Avenue
City	Galveston
State	TX
ZIP Code	77550-8015
Telephone	(409)765-8883
Date	12/19/13



FEMA Form 080-033 (1/12)

See reverse side for continuation.

Replaces all previous editions.



26P-023

STAFF REPORT

ADDRESS:

2005 Mary Moody Northen / 53rd Street

LEGAL DESCRIPTION:

The properties are legally described as Abstract 628 M.B. Menard Survey, Part of Lots 8 Through 12 (8-1) Block 124 Denver Resurvey, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Joseph Batiste

PROPERTY OWNER(S):

Joseph Odys Batiste Jr. Trust

ZONING:

Residential, Single-Family (R-1)

REQUEST:

Minor Plat

APPLICABLE LAND USE REGULATIONS:

Article 6 – Land Development Regulations

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

A – Survey

B – Site Sketch and replat

STAFF:

Daniel Lunsford

Planning Manager

409-797-3659

dlunsford@galvestontx.gov

Public Notices Sent: 30

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department and Private Utility Notification Responses:

Airport: No Objection

Building Division: No Objection

Coastal Resources: No Objection

Fire Chief: No Objection

Fire Marshal: No Objection

Police Chief: No Objection

Public Works/City Engineer: Utility Easement required for sanitary sewer access

Private Utilities Notification Responses:

AT&T: No Objection

Comcast: No Objection

CenterPoint Energy: No Objection

Texas Gas Service: No Objection



Executive Summary:

The applicant is requesting a Minor Plat to replat five lots into two. Because the replat involves four or more lots, Planning Commission action is required.

Physical Characteristics:

The subject parcels are located at the southwest corner of Avenue N 1/2 and Mary Moody Northern / 53rd Street. Currently the parcels contain an existing structure on the eastern half of the property with the western half being undeveloped. The replat proposes to create one vacant lot and one lot containing the existing structure.

Zoning and Land Use:

Location	Zoning	Land Use
Subject Site	Residential, Single-Family (R-1)	Residential
North	Residential, Single-Family (R-1)	Residential
South	Residential, Single-Family (R-1)	Residential
East	Residential, Single-Family (R-1)	Residential
West	Residential, Single-Family (R-1)	Residential

Lot Sizes, Conformance with the Residential Single-Family (R-1) District:

The table below indicates the minimum lot area, dimensions, and setback requirements for the Residential, Single-Family (R-1) Modified zoning district:

Min. Lot Area	Min. Lot Width	Min. Lot Depth	Front Setback	Side Setback	Rear Setback
2,500 square feet	0 feet	0 feet	0 feet	feet	0 feet

The proposed replat submitted (see Exhibit B) shows that both proposed lots exceed the minimum requirements for Residential, Single-Family (R-1) zoning between 25th Street and 61st Street. The smaller parcel proposed is 4,048 square feet in area. Note that the request involves five Denver Resurvey lots; this was a subdivision of parts of the M.B. Menard Survey into very narrow, deep lots in the 1890s.

Department Review and Comments:

There were no objections from outside utilities or other City departments. The City Engineering department requires a minimum 4' wide utility easement crossing proposed Lot 2 to provide Lot 1 with sanitary sewer access. This is included as specific condition two for approval of the replat.

Plat Approval Criteria

According to Section 13.502 of the Land Development Regulations, the following are the approval criteria for plats:

A. **Generally.** Preliminary plats, final plats, and development plats shall be approved if, following review by City staff, it is determined that the plat meets all applicable regulations. The staff report may include "standard conditions" that serve as a checklist of ordinary regulatory requirements, but which are not corrections or changes necessary to conform to applicable regulations.

1. If a plat is submitted to the Planning Commission with only the "standard conditions" in the staff report and no other conditions are required, then the plat will be considered to meet all applicable regulations, approval will be recommended, and the item may be placed on a consent agenda of the Planning Commission.
2. If a plat does not meet all applicable regulations, the plat will be denied, except that readily verifiable conditions may be attached to preliminary approval, the satisfaction of which becomes a prerequisite for final approval.

Staff Recommendation:

Staff recommends approval of the request with the following conditions:

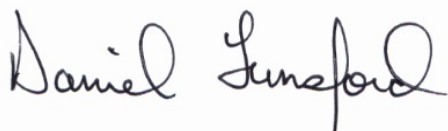
Specific Conditions:

- 1) The applicant shall accommodate the filing of the plat by November 19, 2026;
- 2) A 4' utility easement shall be provided on the plat documents as directed by Engineering and Public Works;

Standard Conditions for Plat Requests:

- 3) The applicant shall conform to all comments/conditions received from City departments and/or private utility companies. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval. Failure to comply with all comments/conditions may result in delay of plat filing;
- 4) Prior to any construction or site work the applicant shall receive approval of a Stormwater Pollution Prevention Plan (SWPPP) by the City Engineer/Public Works Department;
- 5) The project shall conform to the Land Development Regulation requirements regarding lot area, width, depth, and overall development layout;
- 6) The applicant shall comply with requirements for a Minor Plat in accordance with the Land Development Regulations; and
- 7) In accordance with the Land Development Regulations, all street names, addresses, easements, and all front, side and rear building lines must be shown on the plat documents.

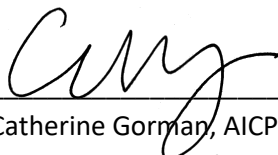
Respectfully Submitted,



Daniel Lunsford
Planning Manager

May 5, 2026

Date



Catherine Gorman, AICP
Assistant Director / HPO

May 5, 2026

Date

Tract 1:

Survey of the North Eighty (80) feet of Lot Eight (8), in Block One Hundred Twenty-Four (124), of DENVER RESURVEY, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 91, Page 196 of the Map Records of Galveston County, Texas.

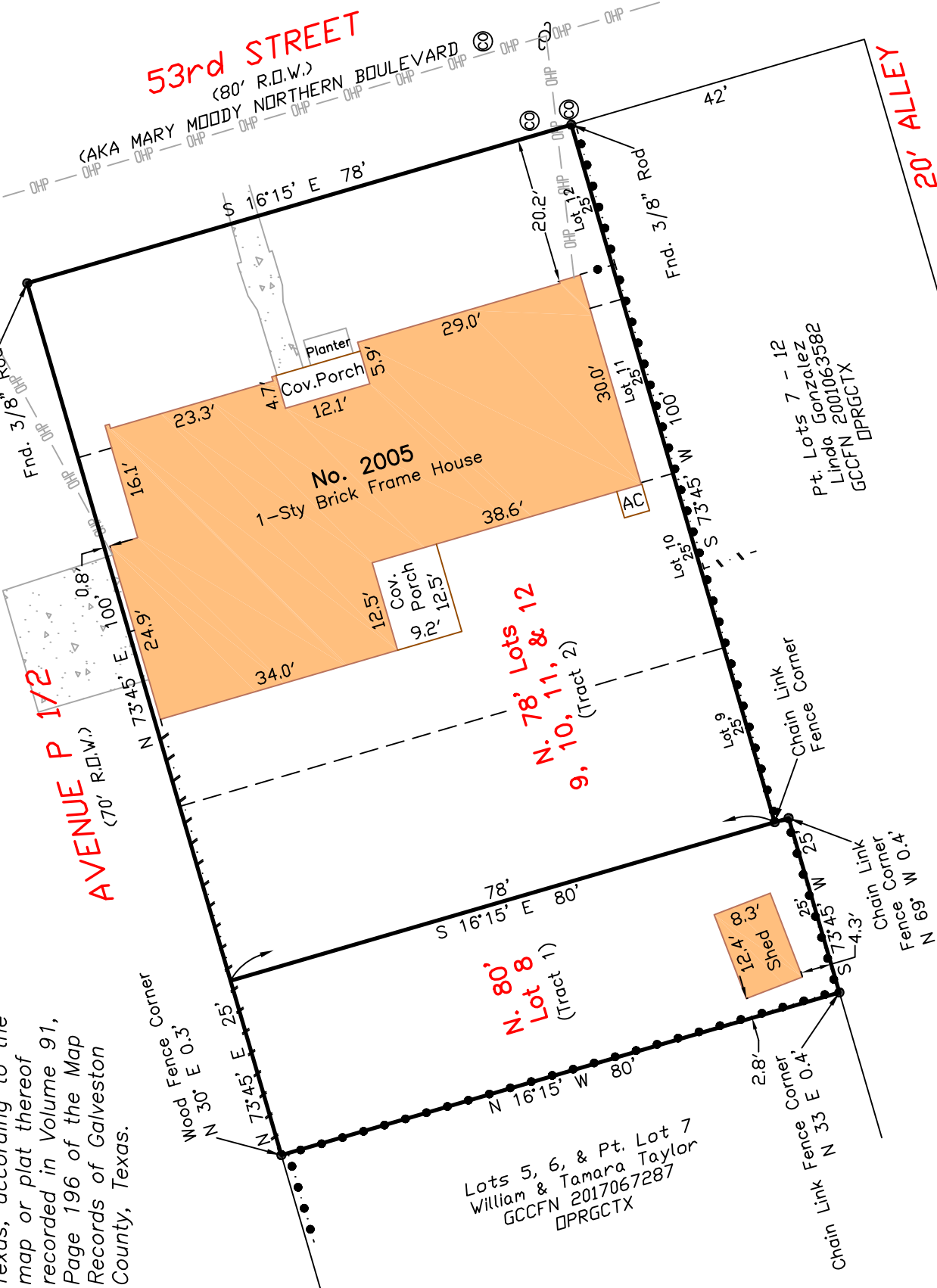
Tract 2:

Survey of the North Seventy-Eight (78) feet of Lots Nine (9), Ten (10), Eleven (11) and Twelve (12), in Block One Hundred Twenty-Four (124), of DENVER RESURVEY, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 91, Page 196 of the Map Records of Galveston County, Texas.

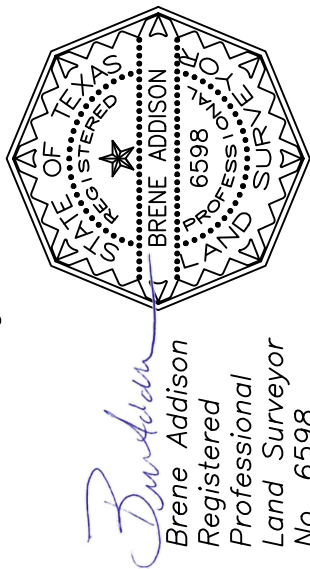
2005 53rd Street, Galveston, TX. 77551

TLS Job No 26-0079

Survey Date: February 10, 2026



I hereby certify that on the above date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.



NOTES:

- 1) This property is subject the zoning ordinances and/or the building regulations of the City of Galveston. All building setback lines and easements shown are per recorded plat and/or recorded restrictions. If none shown, it is the property owners responsibility to confirm any setback requirements with City of Galveston.
- 2) This property lies within Zone AE (EL 10') as established by the FEMA Flood Insurance Rate Map No. 4816700437G, dated August 15, 2019.
- 3) This property is subject to any restrictions of record and may be subject to setbacks from power lines as established by OSHA and/or the local power company.
- 4) Bearings are record, as shown on plat of City of Galveston in common use, based on the monumentation of the South right-of-way line of 53rd Street, being a found 5/8 inch rod at the Northeast corner of Lot 12 and a found 1 inch pipe at the Northeast corner of Lot 4.

SCALE: 1" = 20'

Legend:

- OHP — Overhead Power
- • • Chain Link Fence
- - - Wood Fence
- Concrete
- Clean-out
- Power Pole



Mailing: 6341 Stewart Rd. #251
Physical: 2011 59th Street
Galveston, TX 77551
409-497-2772
TriconLandSurveying.com
T.B.P.E.L.S. Firm No. 10194309

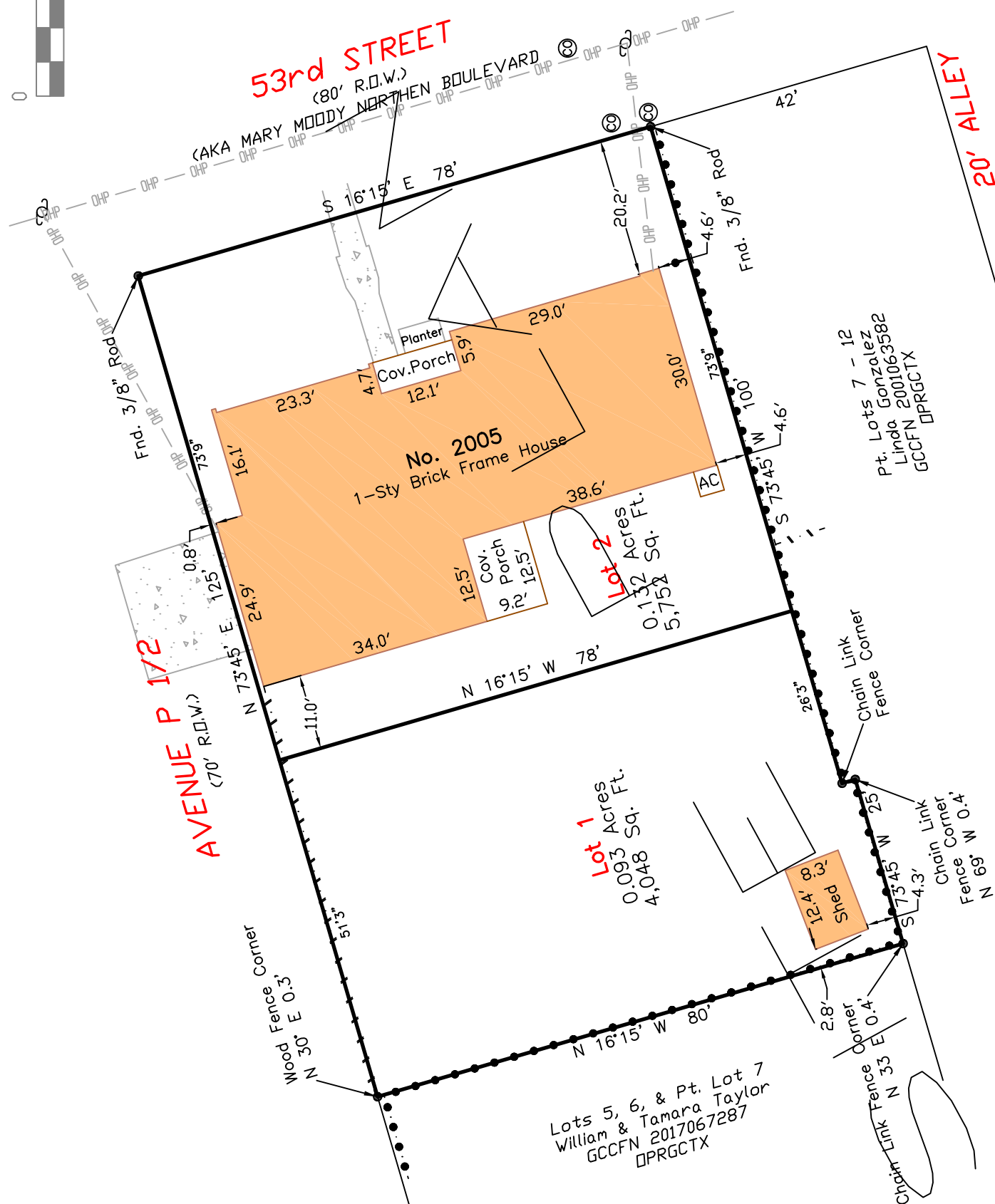
Drafting: JA

Surveyed for: Josepn batiste

EXHIBIT A



SCALE: 1" = 20'



AREA TABLE

Lot	Sq. Feet	Acres
Lot 1	4,048	0.093
Lot 2	5,752	0.132

LEGEND

G.C.C.F.N. Galveston County Clerk's File Number
O.P.R.R.P.G.C.T.X. Official Public Records of Real Property Galveston County Texas
G.C.M.R. Galveston County Map Records
--- Easement Line
--- U.E. Utility Easement
--- A.E. Aerial Easement
--- Building Line
--- B.L. Building Line

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 18°15' E	2

NOTES:

- 1) This property is subject to the building and zoning ordinances of the City of Galveston.
- 2) This property lies within Zone AE (EL 10') as established by the FEMA Flood Insurance Rate Map No. 48167C0437G, Dated August 15, 2019.
- 3) All of the property subdivided in the foregoing plat is within the incorporated boundaries of the City of Galveston, Texas.
- 4) This property is subject to any restrictions of record.
- 5) All utilities shall be relocated as needed to avoid crossing platted property lines.
- 6) Bearings are record, based on the monumentation of the South right-of-way line of Avenue P 1/2, being a found 3/8 inch rod at the Northeast corner of Lot 12 and a found 1 inch pipe at the Northeast corner of Lot 4.

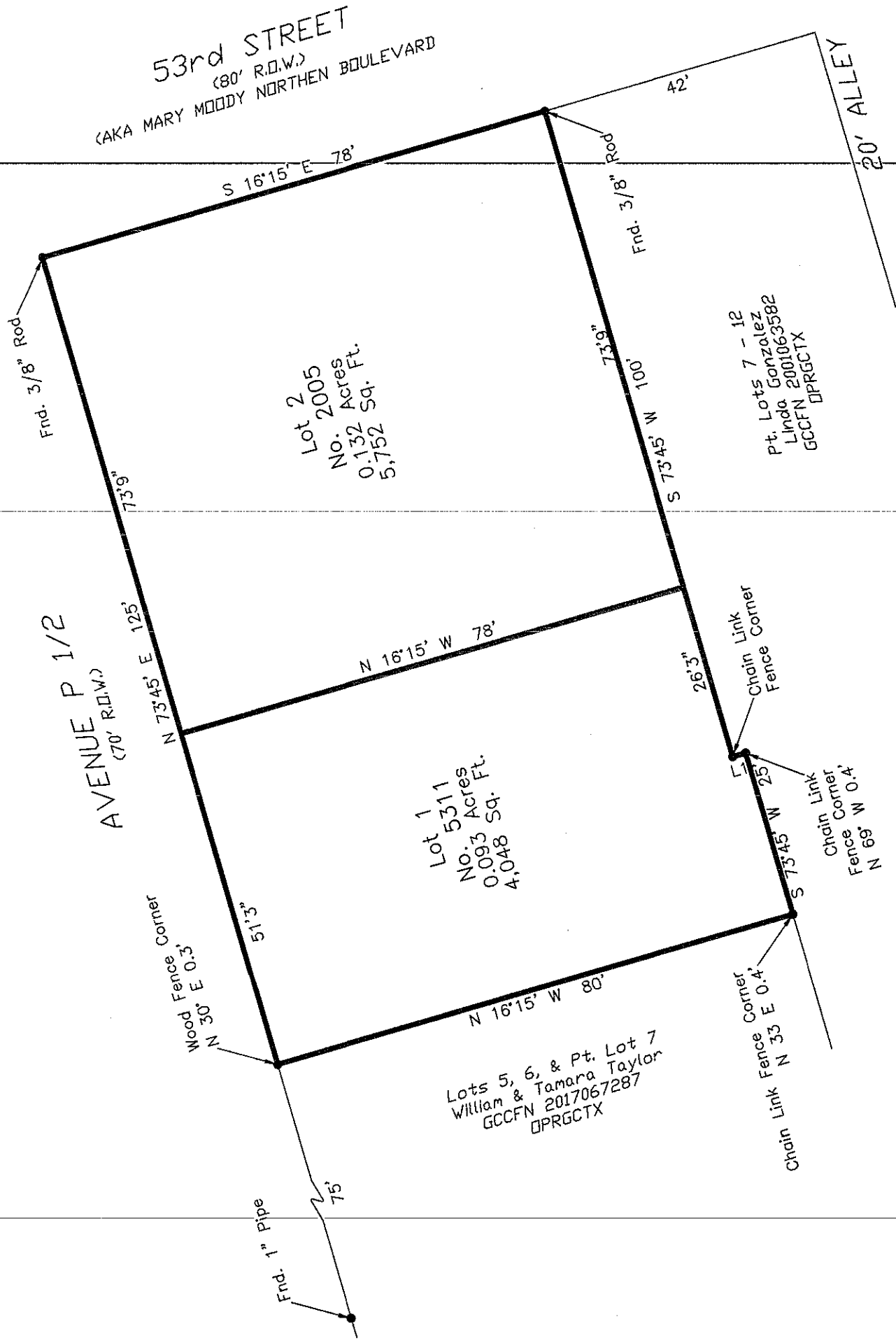
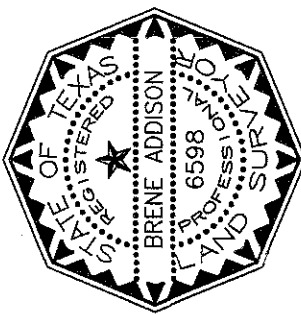
PROPERTY DESCRIPTION:

Being the North Eighty (80) feet of Lot Eight (8), the North Seventy-Eight (78) feet of Lots Nine (9), Ten (10), Eleven (11) and Twelve (12), in Block One Hundred Twenty-Four (124), of DENVER RESURVEY, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 91, Page 196 of the Map Records of Galveston County, Texas.

This is to certify that I, Brene Addison, a Registered Professional Land Surveyor for the State of Texas, have platted the above and foregoing subdivision and replat from an actual survey on the ground and under my direction and that all corners have been, or will be, properly monumented.

Brene Addison
Brene Addison
Registered Professional
Land Surveyor No. 6598

TRICON LAND SURVEYING, LLC
Mailing: 6341 Stewart Rd. #251
Physical: 2011 59th Street
Galveston, TX 77551
409-487-2772
TriconLandSurveying.com
T.B.P.E.L.S. Firm No. 10194309
TLS 26-0079



THE STATE OF TEXAS {}
COUNTY OF GALVESTON {}

KNOW ALL MEN BY THESE PRESENTS

That I, Joseph Batiste, owner of those certain tracts or parcels of land, lying and being situated in the City of Galveston, in Galveston County, Texas, subdivided in the above and foregoing plat do hereby make subdivision of said property according to the lines and lots shown thereon, and designate said subdivision as "BATISTE NO. 2", in the City and County of Galveston, Texas.

Joseph Batiste
Joseph Batiste

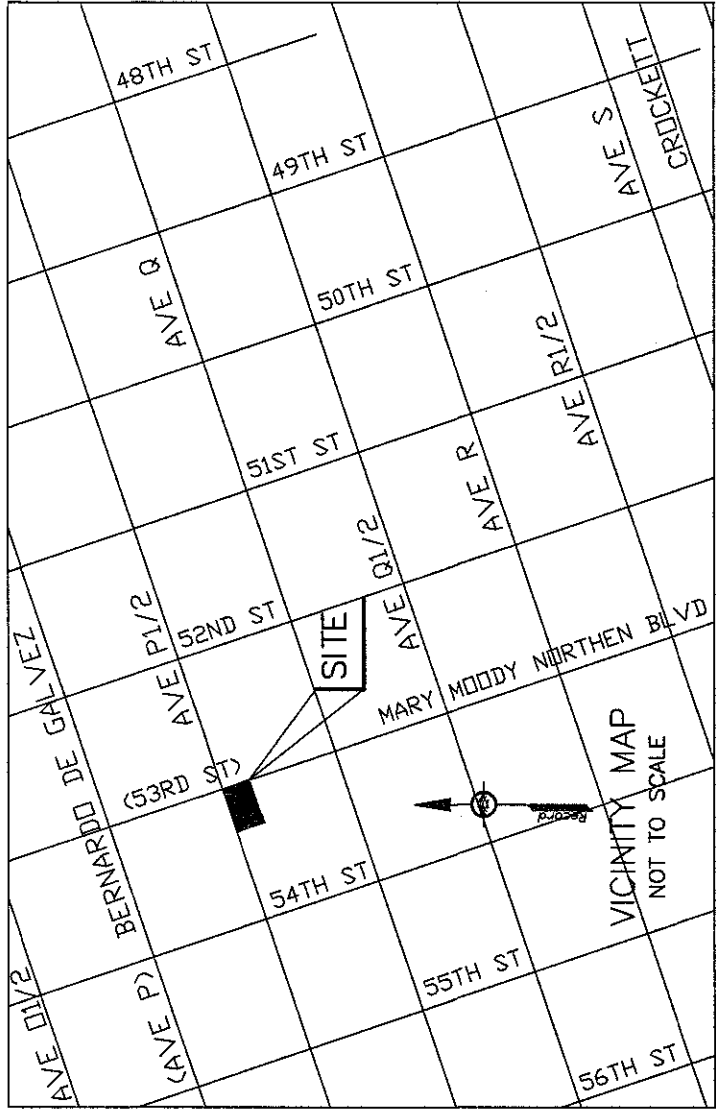
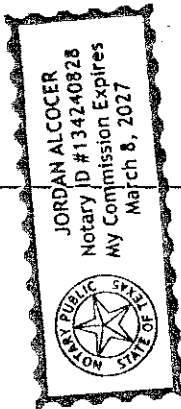
THE STATE OF TEXAS {}
COUNTY OF GALVESTON {}

KNOW ALL MEN BY THESE PRESENTS

BEFORE ME, the undersigned authority, on this day personally appeared Joseph Batiste, known to me to be the person whose name is subscribed to the above and foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein and herein set forth.

WITNESS MY HAND AND SEAL OF OFFICE this 16 day of April, 2026.

Jordan Alcocer
Notary Public for the
State of Texas
My Commission Expires March 8, 2027



This Subdivision plat in the City of Galveston, Galveston County, Texas, as set forth on this plat, has been approved by the Galveston Planning Commission on this _____ day of _____, 2026.

Secretary Galveston Planning Commission

Chairperson Galveston Planning Commission

THE STATE OF TEXAS {}
COUNTY OF GALVESTON {}

KNOW ALL MEN BY THESE PRESENTS

I, Dwight D. Sullivan, County Clerk, Galveston County Texas, do hereby certify that the written instrument was filed for record in my office on _____, 2026, at _____ O'clock, _____m, Instrument # _____, Galveston County records.

Witness my hand and seal of office, at Galveston, Texas, the day and date last above written

Dwight D. Sullivan, County Clerk
Galveston County, Texas

By _____ Deputy

BATISTE NO. 2

A REPLAT OF PART OF LOTS 8, 9, 10, 11, AND 12, IN BLOCK 124
DENVER RESURVEY, VOLUME 91, PAGE 196
CITY AND COUNTY OF GALVESTON, TEXAS

2 LOTS - 9,800 SQUARE FEET
0.225 ACRES

April 9, 2026

Owner: Joseph Batiste
Surveyor: Brene Addison
Registered Professional Land Surveyor No. 6598